

**EAU CLAIRE
CITY COUNCIL
AGENDA MATERIALS**

Monday, August 12, 2024

EAU CLAIRE CITY COUNCIL AGENDA

MONDAY, AUGUST 12, 2024

**CITY HALL COUNCIL CHAMBER
203 S. FARWELL STREET 6:00 P.M.**

PLEDGE OF ALLEGIANCE AND ROLL CALL

PUBLIC HEARINGS

HOME-ARP GRANT FUNDING

1. Public hearing on the HOME Investment Partnership Program American Rescue Plan (HOME-ARP) Grant Funding.
(Jessica Oleson-Bue, Page 5)

ZONING

2. Public hearing on an ordinance to rezone property from R-3P to C-3P and to adopt the general development plan for an office building located at 4908 Bullis Farm Road (Z-1743-24).
(Aaron White, Page 8)
3. Public hearing on an ordinance to rezone property from R-1 to R-2 located at 4847, 4939, 4951 Bean Road (Z-1744-24).
(Aaron White, Page 20)
4. Public hearing on an ordinance to rezone property from R-1 to R-2P and to adopt the general development plan located at 644 Mathews Drive (Z-1745-24).
(Aaron White, Page 22)

ANNEXATION

5. Public hearing on an ordinance annexing land to the City of Eau Claire located in the Town of Washington, Eau Claire County, as shown on Planning Drawing No. 24-2A.
(Aaron White, Page 37)

SITE PLAN APPROVAL

6. Public hearing on a resolution approving a site plan in a P-Public district for the Treatment Facility and other improvements located at 2711 Riverview Drive (File PZ-2401).
(Aaron White, Page 45)

PUBLIC DISCUSSIONS

TABLE IX – PARKING DURING SPECIFIED HOURS

7. Public discussion on an ordinance amending Table IX entitled “Parking During Specified Hours” of the Code of Ordinances of the City of Eau Claire.
(Leah Ness, Page 75)

CHAPTER 10.20 – PARKING METERS & LOTS

8. Public discussion on an ordinance amending Chapter 10.20 entitled “Parking Meters and Lots” of the Code of Ordinances of the City of Eau Claire.
(Leah Ness, Page 77)

PUBLIC COMMENT PERIOD

The City Council desires to hear the viewpoints of residents of the City of Eau Claire on ideas or concerns of citywide application. The Public Comment Period will be for up to 20 minutes (eligible to be extended by 2/3 vote of the City Council members present). Each speaker shall be permitted no more than 3 minutes to speak and shall speak only once per session. Comments shall not be made on noticed agenda items earlier in the meeting.

ADJOURNMENT

PLEASE TAKE NOTICE that an open public regular meeting of the City Council of the City of Eau Claire will be held at **4:00 p.m. on Tuesday, August 13, 2024**, in the City Hall Council Chamber, 203 S. Farwell Street, Eau Claire, Wisconsin, to consider all matters which may properly be considered at a meeting of the City Council.

NOTICE TO CITIZENS

Due to requirements contained in the Wisconsin Open Meetings Law, only those matters placed on this agenda may be considered by the City Council at this meeting. If any member of the public desires that the City Council consider a matter not included on this agenda, he or she should contact a City Council Member or the City Manager to have the matter considered for placement on a future City Council agenda.

PUBLIC HEARING

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public hearing on the HOME Investment Partnership Program American Rescue Plan (HOME-ARP) Grant Funding

SUMMARY / BACKGROUND

Public Hearing regarding the HOME Investment Partnership Program American Rescue Plan (HOME ARP) Allocation. The Review Committee has made its recommendations on the funding.

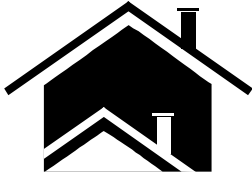
No action required at this time. Approval will be at the legislative session on September 10, 2024.

The 2024 CDBG/HOME Organizational Requests are available on the city website at:
<https://www.eauclairewi.gov/government/our-divisions/housing/home-american-rescue-program>

ACTION / ATTACHMENTS

Action: Public Hearing

Attachments: Memo
Public Notice of Proposed Funding



Housing Division

DATE: August 6, 2024

TO: City Council
Stephanie Hirsch, City Manager
Aaron White, Director of Community Development
Kitzie Winters, Director of Finance

FROM: Jessica Oleson-Bue, Housing Division Manager

RE: HOME Investment Partnership - American Rescue Plan (HOME ARP)

The City of Eau Claire has been awarded \$1,140,076 in HOME Investment Partnership Program American Rescue Plan (HOME ARP) funds.

Funding Information:

The American Rescue Plan Act of 2021 appropriated \$5 billion to provide housing, services, and shelter to individuals experiencing homelessness and other vulnerable populations, to be allocated by formula to jurisdictions that qualified for HOME Investment Partnership Program allocations in Fiscal Year 2021. On September 13, 2021, the Department published a notice, titled: Requirements for the Use of Funds in the HOME-American Rescue Plan Program (the Notice) to give guidance on projects funding may be allocated to.

The American Rescue Plan (ARP) is to provide funding to assist individuals or households who are homeless, at risk of homelessness, and other vulnerable populations, by providing housing, rental assistance, supportive services, and non-congregate shelter, to reduce homelessness and increase housing stability across the country. The Housing Division requested proposals which will provide for the development of affordable housing for individuals/households in the four qualifying populations:

- Homeless,
- At risk of homelessness,
- Fleeing, or attempting to flee, domestic violence, dating violence, sexual assault, stalking, or human trafficking, and
- Other populations: other families requiring services or housing assistance to prevent homelessness or other populations with the greatest risk of housing instability.

Recommendations:

The attached is the Review Committee's recommendation. Projects are subject to the review and approval by the City Council. The CDBG/HOME Review Committee respectfully submits the list of recommended projects to the City Council.

If you have questions on the attached information, please feel free to call the CDBG & HOME Review Committee members prior to the City Council meeting.

NOTICE OF PUBLIC HEARING
**Substantial Amendment to the 2021 Action Plan
for HOME Investment Partnership Program
American Rescue Plan (HOME-ARP)**

The City of Eau Claire received a one-time grant in the amount of \$1,140,076 as a part of the HOME Investment Partnership American Rescue Plan (HOME-ARP). The City is preparing a substantial amendment to the Consolidated Plan's 2021 Annual Plan for the funding. The City is publishing the following information in order to provide citizens of Eau Claire an opportunity to examine its content and submit comments on the proposed plan.

Citizens are invited to submit written comments to the City of Eau Claire, Housing Division, City Hall, PO Box 1186, Eau Claire, Wisconsin 54702-1186 or call (715) 839-4943 by August 26, 2024, or attend a public hearing on Monday, August 12, 2024 at 6:00 p.m.in the City Council Chamber of City Hall, 203 S Farwell St, Eau Claire, WI.

**HOME Investment Partnership Program American Rescue Plan (HOME-ARP)
Proposed Use of Funds**

<u>Organization / Program name</u>	<u>Program Type</u>	<u>Proposed Award</u>
Chippewa Valley Habitat for Humanity Grand Avenue Project	Affordable Housing	<u>\$619,065</u>
Eau Claire Area Hmong Mutual Assistance Association Affordable Housing Program	Affordable Housing	<u>\$350,000</u>
City of Eau Claire Housing Division HOME ARP Administration	Administration	<u>\$171,011</u>
	TOTAL HOME-ARP AWARDS:	<u>\$1,140,076</u>

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public hearing on an ordinance to rezone property from R-3P to C-3P and to adopt the general development plan for an office building located at 4908 Bullis Farm Road (Z-1743-24).

SUMMARY / BACKGROUND	
	<p>Ordinance to rezone property from R-3P to C-3P and to adopt the general development plan for an office building located at 4908 Bullis Farm Road.</p> <p>The Plan Commission unanimously recommended approval with the conditions noted in the staff report.</p>

ACTION / ATTACHMENTS	
Action:	Public Hearing
Attachments:	Ordinance Report Map

ORDINANCE

ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DO ORDAIN AS FOLLOWS:

That the Zoning Ordinance for the City of Eau Claire, Wisconsin, is hereby amended by rezoning the following described property:

Property Location: 4908 Bullis Farm Rd; Parcel Number 15-6816-B

From

R-3P (Low-Rise Multiple-Family District Planned Development)

to

C-3P (Community Commercial Planned Development)

To adopt the general development plan for an office building as shown on Planning File No. Z-1743-24, on file in the office of the Department of Community Development.

All provisions of said zoning ordinance now or thereafter adopted, and all regulations now existing or hereafter adopted by the City of Eau Claire connected with or related to C-3P district shall apply to said changed district, and the district map adopted by Section 18.60.020 of the Eau Claire Municipal Code shall thereafter be amended in accordance with this ordinance. The General Development Plan for this property, a copy of which is on file in the office of Community Development and open to public inspection during normal business hours, is hereby approved or approved with conditions, as per Section 18.10.030 B. of the Eau Claire Municipal Code.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published



City of Eau Claire
 Planning Department
 P.O. Box 5148
 203 S. Farwell St.
 Eau Claire, WI 54702-5148
 Phone 715-839-4914

Project Details Report

North Point

Project Information:

20241338
 North Point
 Bullis Farm Rd
 Financial Advisors, Office Building

GIS Attributes:

Parcel ID:

Stage:

Rezoning Request

Application Fields:

Parcel Number(s)	156816B
Interest in Subject Property	Engineer
Total Acres	1
Current Zoning	R3
Proposed Zoning	C-1-A
Reasons for requesting such a rezoning of property	Selling 1.12acres of the existing, to a client for office
Existing use(s) of subject property	R3
Existing use(s) of adjacent properties	R3
Proposed use(s) of subject property	Office
Proposed time schedule for use of subject property	2025

Contacts:

Architect CHAD OSTER
 CBS SQUARED, INC
 770 TECHNOLOGY WAY
 CHIPPEWA FALLS, WI 54729
 Phone: 7154912682
 Email: coster@cbssquaredinc.com

Financial:

Latest Review:

Planning	unassigned	06/18/2024 -	Open
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June 18, 2024

To: City of Eau Claire Planning Commission
203 Farwell Street
Eau Claire, WI 54701

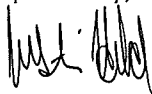
From: Rocket Construction
4324 Fairfax Park Drive
Eau Claire, WI 54701

RE: Subdivision & Re-Zone of 3.3-acre vacant land of Bullis Farm Road

Honorable City of Eau Claire Planning Commission,

As the current property owner of the abovementioned vacant land, I would like to parcel off 1.12 acres for a client. The remaining land I plan to keep and develop the remaining parcel for another apartment building like the one on the parcel to the east. With the rezone to C-3P the 1.12 acres would most likely be a 9,000 sq ft office building with underground parking and client parking at grade. Once the rezone has been approved, we would like to file the CSM for the 1.12 acres for the new owners.

Respectfully,

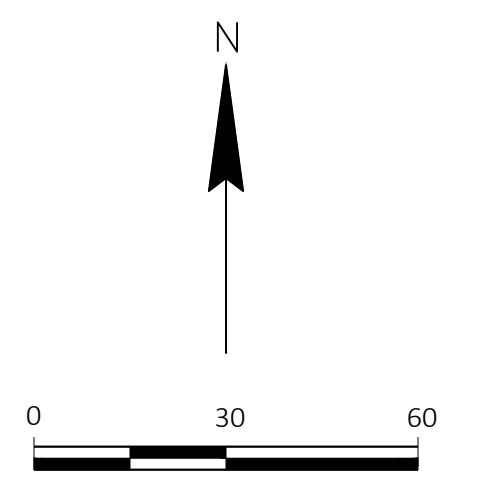
A handwritten signature in black ink, appearing to read 'Justin Held'.

Justin Held
President / Owner
Rocket Construction

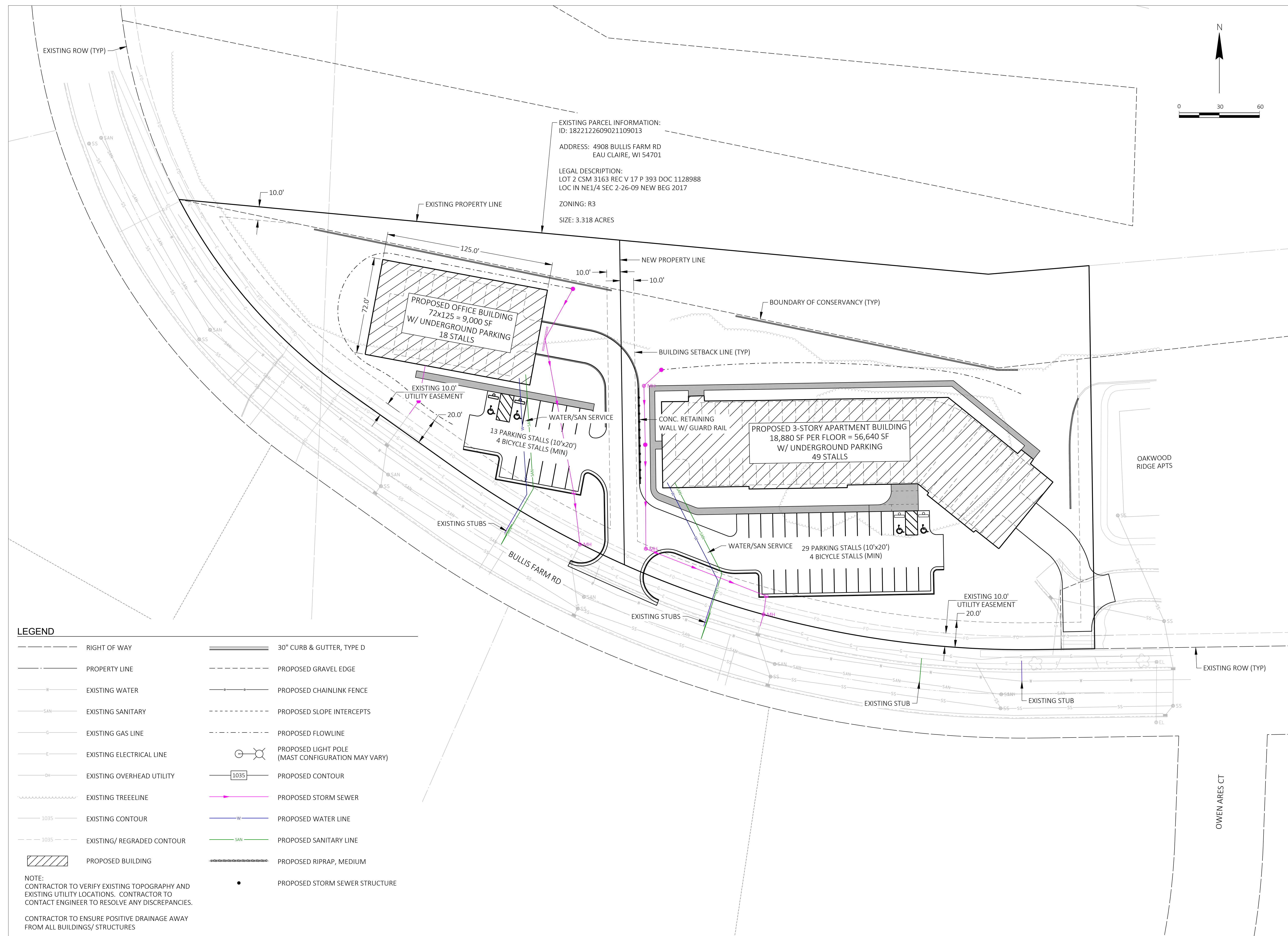


www.rocketconstruction.com





EXISTING PARCEL INFORMATION:
 ID: 1822122609021109013
 ADDRESS: 4908 BULLIS FARM RD
 EAU CLAIRE, WI 54701
 LEGAL DESCRIPTION:
 LOT 2 CSM 3163 REC V 17 P 393 DOC 1128988
 LOC IN NE1/4 SEC 2-26-09 NEW BEG 2017
 ZONING: R3
 SIZE: 3.318 ACRES



**NORTH POINT ADVISOR GROUP &
 OAKWOOD FLATS APT BUILDING**
 EAU CLAIRE, WI
 OVERALL SITE PLAN

LEGEND

---	RIGHT OF WAY	=====	30" CURB & GUTTER, TYPE D
---	PROPERTY LINE	---	PROPOSED GRAVEL EDGE
W	EXISTING WATER	---	PROPOSED CHAINLINK FENCE
-SAN-	EXISTING SANITARY	---	PROPOSED SLOPE INTERCEPTS
-G-	EXISTING GAS LINE	---	PROPOSED FLOWLINE
-E-	EXISTING ELECTRICAL LINE	⊙	PROPOSED LIGHT POLE (MAST CONFIGURATION MAY VARY)
-OH-	EXISTING OVERHEAD UTILITY	1035	PROPOSED CONTOUR
~~~~~	EXISTING TREELINE	---	PROPOSED STORM SEWER
1035	EXISTING CONTOUR	W	PROPOSED WATER LINE
1035	EXISTING/ REGRADED CONTOUR	-SAN-	PROPOSED SANITARY LINE
▨	PROPOSED BUILDING	---	PROPOSED RIPRAP, MEDIUM
		•	PROPOSED STORM SEWER STRUCTURE

NOTE:  
 CONTRACTOR TO VERIFY EXISTING TOPOGRAPHY AND EXISTING UTILITY LOCATIONS. CONTRACTOR TO CONTACT ENGINEER TO RESOLVE ANY DISCREPANCIES.  
 CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS/ STRUCTURES

**Issue:**

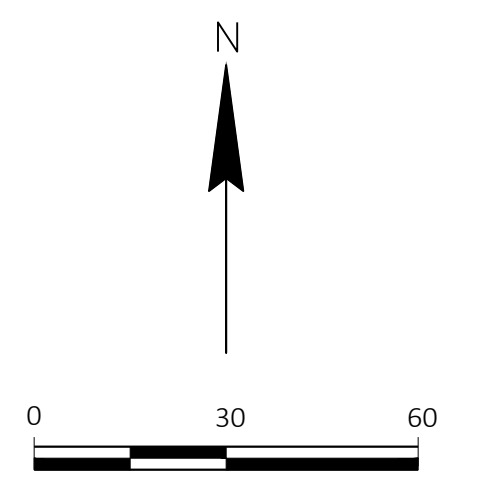
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**Revisions:**

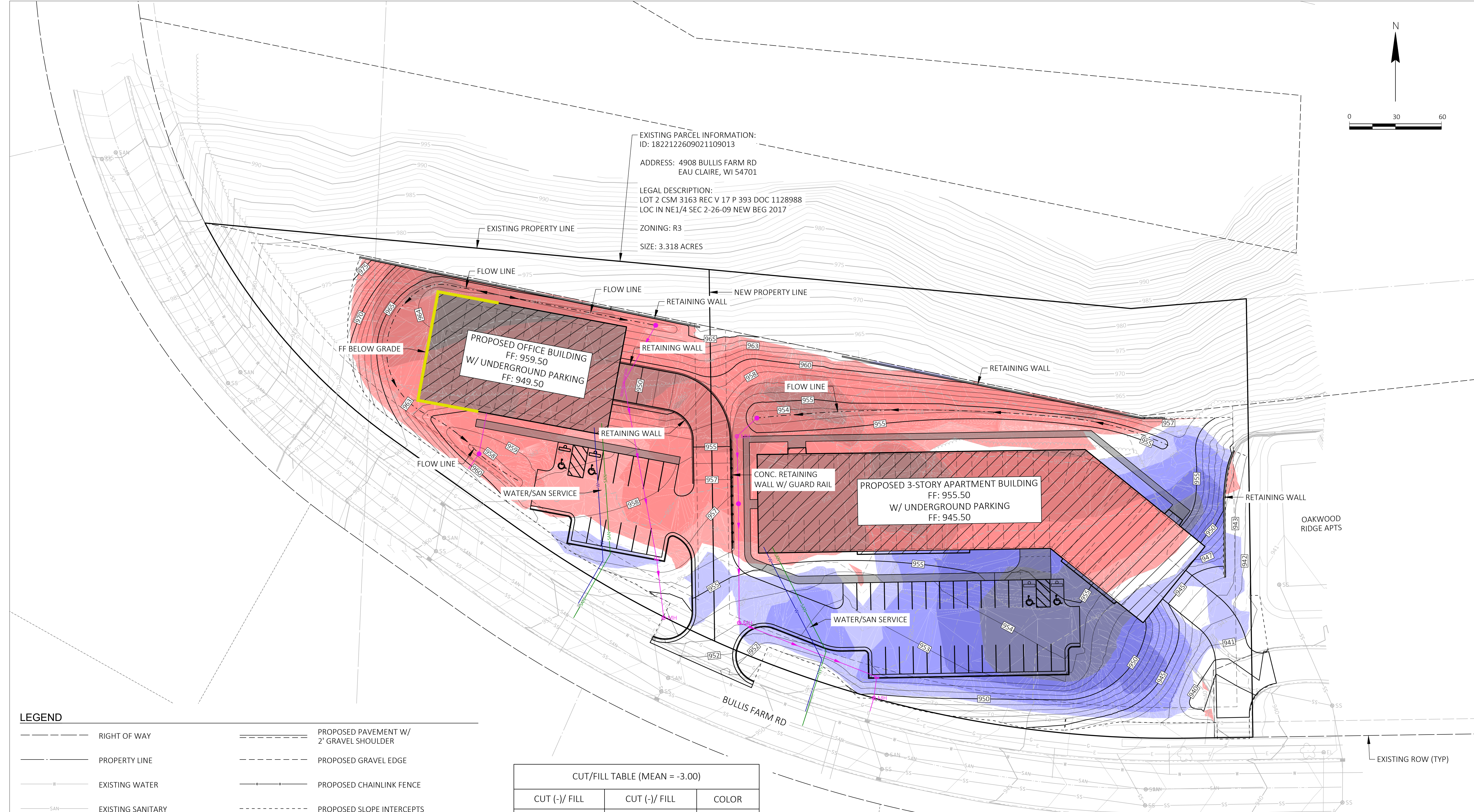
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**Project Number:**  
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EXISTING PARCEL INFORMATION:  
 ID: 1822122609021109013  
 ADDRESS: 4908 BULLIS FARM RD  
 EAU CLAIRE, WI 54701  
 LEGAL DESCRIPTION:  
 LOT 2 CSM 3163 REC V 17 P 393 DOC 1128988  
 LOC IN NE1/4 SEC 2-26-09 NEW BEG 2017  
 ZONING: R3  
 SIZE: 3.318 ACRES



**NORTH POINT ADVISOR GROUP &  
 OAKWOOD FLATS APT BUILDING**  
 EAU CLAIRE, WI  
 OVERALL GRADING PLAN

**LEGEND**

---	RIGHT OF WAY	---	PROPOSED PAVEMENT W/ 2' GRAVEL SHOULDER
---	PROPERTY LINE	---	PROPOSED GRAVEL EDGE
---	EXISTING WATER	---	PROPOSED CHAINLINK FENCE
-SAN-	EXISTING SANITARY	---	PROPOSED SLOPE INTERCEPTS
-G-	EXISTING GAS LINE	---	PROPOSED FLOWLINE
-E-	EXISTING ELECTRICAL LINE	⊙	PROPOSED LIGHT POLE (MAST CONFIGURATION MAY VARY)
-OH-	EXISTING OVERHEAD UTILITY	1035	PROPOSED CONTOUR
~~~~~	EXISTING TREELINE	→	PROPOSED STORM SEWER
1035	EXISTING CONTOUR	W	PROPOSED WATER LINE
1035	EXISTING/ REGRADED CONTOUR	SAN	PROPOSED SANITARY LINE
▨	PROPOSED BUILDING	---	PROPOSED RIPRAP, MEDIUM
		•	PROPOSED STORM SEWER STRUCTURE

CUT/FILL TABLE (MEAN = -3.00)

CUT (-)/ FILL	CUT (-)/ FILL	COLOR
-25.0	-20.0	Dark Brown
-20.0	-15.0	Medium Brown
-15.0	-10.0	Light Brown
-10.0	-5.0	Red
-5.0	-2.0	Light Red
-2.0	-0.5	Light Orange
0.5	2.0	Light Blue
2.0	5.0	Blue
5.0	7.0	Dark Blue
7.0	10.0	Very Dark Blue

2d AREA	CUT (CY)	FILL (CY)	NET (CY)
2.50 ACRES	16,811	5,931	10,880

NOTE:
 CONTRACTOR TO VERIFY EXISTING TOPOGRAPHY AND
 EXISTING UTILITY LOCATIONS. CONTRACTOR TO
 CONTACT ENGINEER TO RESOLVE ANY DISCREPANCIES.
 CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY
 FROM ALL BUILDINGS/ STRUCTURES

Issue:
 Date Issued for

Revisions:
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Drawn by:
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Project Number:
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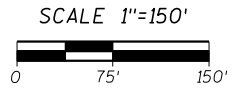
EAU CLAIRE COUNTY CERTIFIED SURVEY MAP

BEING ALL OF LOT 2, CSM 3163, VOL 17, PG 393, DOCUMENT NO. 1128988, AND BEING A PART OF THE NW 1/4 OF THE NE 1/4, AND PART OF THE NE 1/4 OF THE NE 1/4, ALL IN SECTION 2, TOWNSHIP 26 NORTH, RANGE 9 WEST, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN.

COURSE TABLE		
POINTS	DIRECTION	DISTANCE
2-3	S 89° 09' 09" W	41.53'
	(S89° 07' 57" W)	(41.53')
5-6	N 54° 31' 11" W	100.05'
	(N54° 27' 55" W)	(100.00')
8-1	N 85° 10' 08" E	75.53'
	(N85° 11' 14" E)	(75.48')
8-9	N 85° 10' 08" E	21.19'
	(N 85° 11' 14" E)	(21.19)
9-1	N 85° 10' 08" E	54.34'

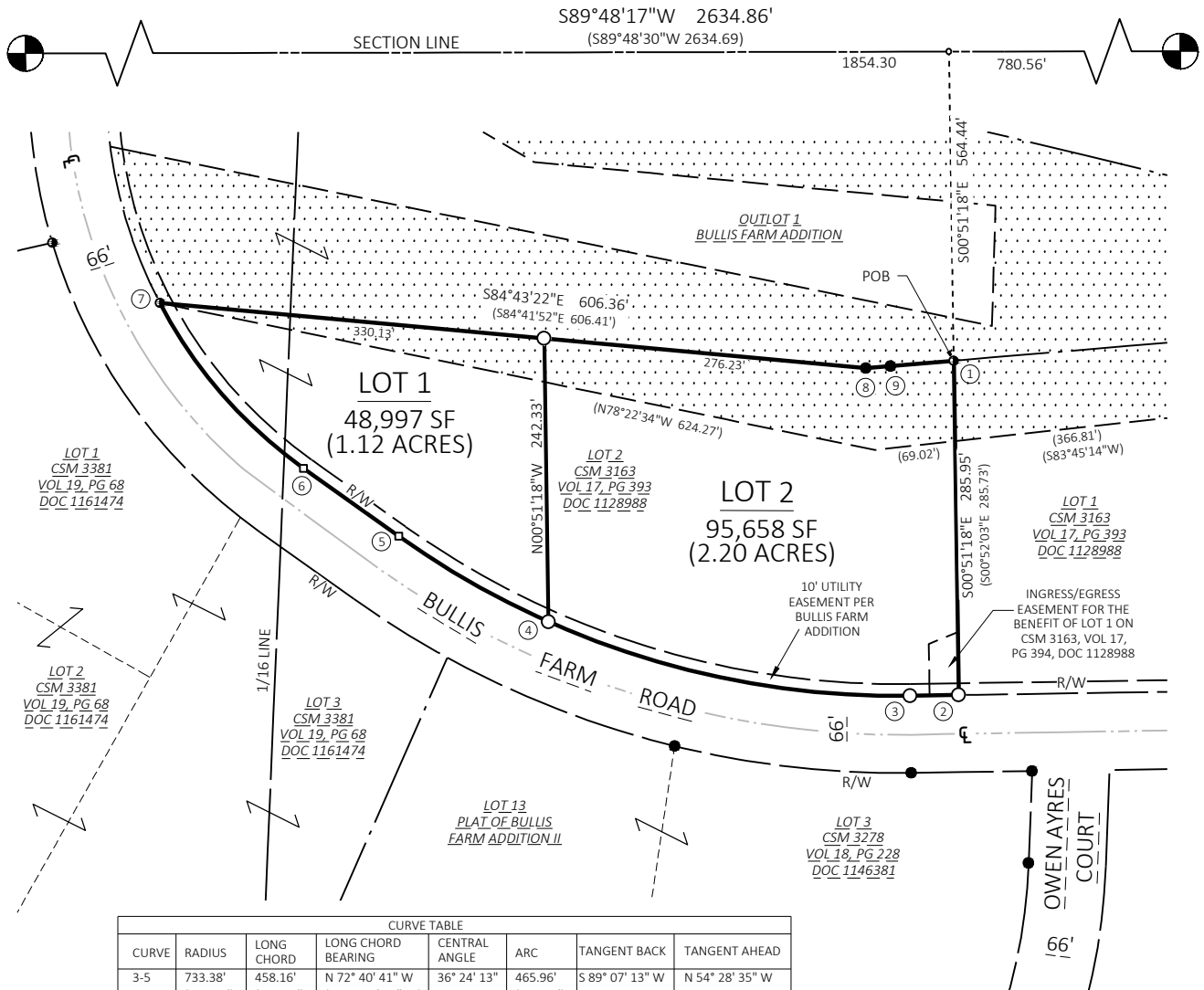


BEARINGS REFERENCED TO THE NORTH LINE OF THE NE 1/4, SECTION 2, T26N, R9W, BEARING S89°48'17"W.



NORTH 1/4 CORNER, SECTION 2, T26N, R9W FOUND 1-1/4" IRON REBAR CORNER FIELD VERIFIED WITH TIE SHEET 22709350020

NORTHEAST CORNER, SECTION 2, T26N, R9W FOUND 3-1/2" DOT BRASS CAP CORNER FIELD VERIFIED WITH TIE SHEET 22709350000



CURVE TABLE							
CURVE	RADIUS	LONG CHORD	LONG CHORD BEARING	CENTRAL ANGLE	ARC	TANGENT BACK	TANGENT AHEAD
3-5	733.38' (733.38')	458.16' (458.15')	N 72° 40' 41" W (N 72° 39' 59" W)	36° 24' 13"	465.96' (465.95')	S 89° 07' 13" W	N 54° 28' 35" W
3-4	733.38'	315.85'	N 78° 26' 40" W	24° 52' 15"	318.34'	S 89° 07' 13" W	N 66° 00' 32" W
4-5	733.38'	147.37'	N 60° 14' 34" W	11° 31' 58"	147.62'	N 66° 00' 32" W	N 54° 28' 35" W
6-7	403.85' (403.85')	187.41' (187.49')	N 40° 59' 37" W (N 41° 02' 33" W)	26° 50' 02"	189.14' (189.22')	N 54° 24' 38" W	N 27° 34' 36" W

LEGEND

- ...SET 3/4" X 18" IRON REBAR WEIGHING 1.502 LBS/LF
- ...FOUND 1" OD IRON PIPE
- ...FOUND 3/4" OD IRON PIPE
- ...FOUND 1-1/4" OD IRON REBAR
- ⊙ ...GOVERNMENT CORNER MONUMENT (AS NOTED)
- ...COMPUTED POINT
- () ...RECORDED AS
- REBAR ...REINFORCING BAR
- R/W ...RIGHT-OF-WAY
- LF ...LINEAR FOOT
- POB ...POINT OF BEGINNING
- DOC ...DOCUMENT
- T26N ...TOWNSHIP NORTH
- R9W ...RANGE WEST
- VOL ...VOLUME
- PG ...PAGE
- SF ...SQUARE FEET
- OD ...OUTSIDE DIAMETER
- LBS ...POUNDS
- ⊕ ...CENTERLINE
- ...SECTION LINE
- - - ...PROPERTY LINE
- · - · - ...LOT LINE
- · - · - ...CENTER LINE
- · - · - ...EASEMENT
- · - · - ...R/W LINE
- [Pattern] ...EXISTING CONSERVANCY AREA PER BULLIS FARM ADDITION DOC 955052, NO CONSTRUCTION OR DISTURBANCE ALLOWED

NOTES

THE RECORDING OF A CERTIFIED SURVEY MAP DOES NOT TRANSFER OWNERSHIP. DEEDS MUST ALSO BE EXECUTED TO COMPLETE THIS LAND DIVISION.

SEWER AND WATER IS AVAILABLE.

FEMA FIRM NUMBER 55035C0070E WITH AN EFFECTIVE DATE OF FEBRUARY 18, 2009, SHOWS SUBJECT LOTS 1 AND 2 IN ZONE X.

FIELD SURVEY COMPLETED: 5/10/2024



Neil C. Bowe

6/14/2024

PREPARED FOR:
JUSTIN HELD
ROCKET CONSTRUCTION
4324 FAIRFAX PARK DR.
EAU CLAIRE, WI 54701

PREPARED BY:
NEIL C. BOWE, PLS 2827
CBS² INC.
770 TECHNOLOGY WAY
CHIPPewa FALLS, WI 54729

EAU CLAIRE COUNTY CERTIFIED SURVEY MAP

BEING ALL OF LOT 2, CSM 3163, VOL 17, PG 393, DOCUMENT NO. 1128988, AND BEING A PART OF THE NW 1/4 OF THE NE 1/4, AND PART OF THE NE 1/4 OF THE NE 1/4, ALL IN SECTION 2, TOWNSHIP 26 NORTH, RANGE 9 WEST, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, NEIL C. BOWE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED ALL OF LOT 2, CSM 3163, VOL 17, PG 393, DOCUMENT NO. 1128988, BEING A PART OF THE NW 1/4 OF THE NE 1/4, AND PART OF THE NE 1/4 OF THE NE 1/4, ALL IN SECTION 2, TOWNSHIP 26 NORTH, RANGE 9 WEST, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 2; THENCE S89°48'17"W, ALONG THE NORTH LINE OF SAID NE 1/4 OF THE NE 1/4, SECTION 2, A DISTANCE OF 780.56 FEET; THENCE S00°51'18"E, 564.44 FEET, TO THE NORTHEAST CORNER OF LOT 2, CSM 3163, VOL 17, PG 393, DOC 1128988, AND BEING THE POINT OF BEGINNING; THENCE S00°51'18" E, ALONG THE EAST LINE OF SAID LOT 2 TO THE NORTHERLY RIGHT-OF-WAY LINE OF BULLIS FARM ROAD, A DISTANCE OF 285.95 FEET; THENCE S89°09'09"W, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF BULLIS FARM ROAD, A DISTANCE OF 41.53 FEET; THENCE 465.96 FEET, ALONG THE ARC OF A CURVE TO THE RIGHT AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF BULLIS FARM ROAD, CONCAVE TO THE NORTH, HAVING A RADIUS OF 733.38 FEET, THE LONG CHORD OF WHICH BEARS N72°40'41"W, 458.16 FEET; THENCE N54°31'11"W, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF BULLIS FARM ROAD, A DISTANCE OF 100.05 FEET; THENCE 189.14 FEET, ALONG THE ARC OF A CURVE TO THE RIGHT AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF BULLIS FARM ROAD, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 403.85 FEET, THE LONG CHORD OF WHICH BEARS N40°59'37"W, 187.41 FEET, TO THE NORTHERLY LINE OF SAID LOT 2, CSM 3163, VOL 17, PG 393, DOC 1128988; THENCE S84°43'22"E, ALONG SAID NORTHERLY LINE OF LOT 2, CSM 3163, VOL 17, PG 393, DOC 1128988, A DISTANCE OF 606.36 FEET; THENCE N85°10'08"E, ALONG SAID NORTHERLY LINE OF LOT 2, A DISTANCE OF 75.53 FEET, TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 144,655 SQUARE FEET (3.32 ACRES), MORE OR LESS.

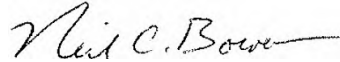
SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND WATER LAWS THAT EXIST THROUGH UNRECORDED MEANS OR BY RECORD.

THAT I HAVE MADE SUCH A SURVEY AT THE DIRECTION OF JUSTIN HELD, ROCKET CONSTRUCTION.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF s.236.34 OF THE WISCONSIN STATUTES, A-E 7 WI ADMINISTRATIVE CODE AND THE SUBDIVISION CONTROL ORDINANCE FOR THE CITY OF EAU CLAIRE, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

I, NEIL C. BOWE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



NEIL C. BOWE, PLS
S-2827

6/14/2024

DATE

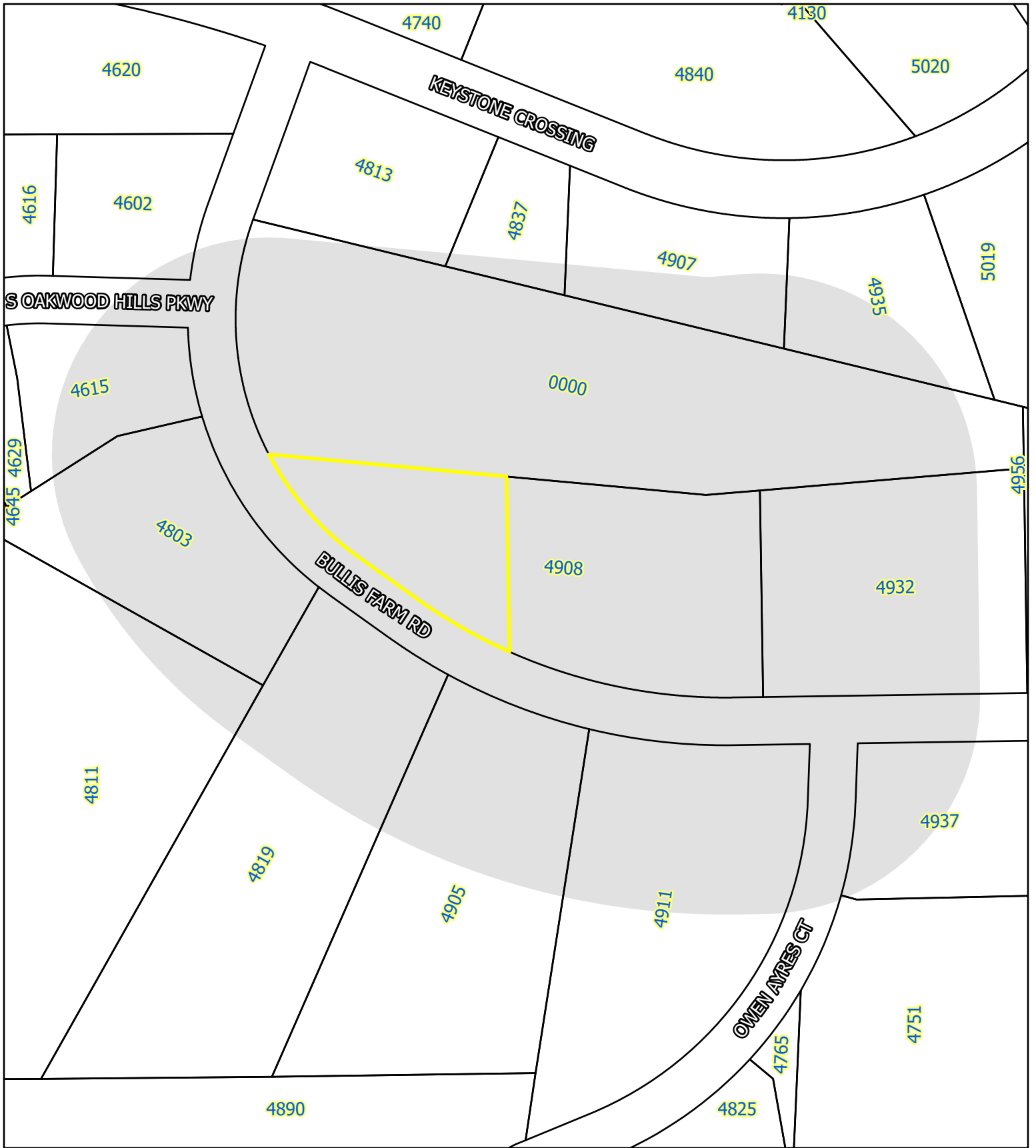


CITY OF EAU CLAIRE APPROVAL

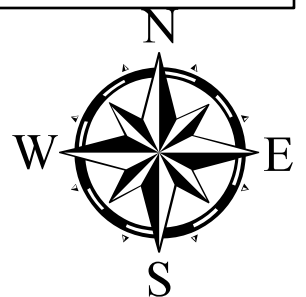
RESOLVED, THAT THIS CERTIFIED SURVEY MAP LOCATED IN THE CITY OF EAU CLAIRE, IS HEREBY APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.

AARON WHITE, COMMUNITY DEVELOPMENT DIRECTOR
CITY OF EAU CLAIRE

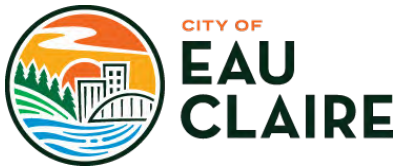
DATE



Notification Map
 Agenda Item: Z-1743-24
 Address: 4908 Bullis Farm Road

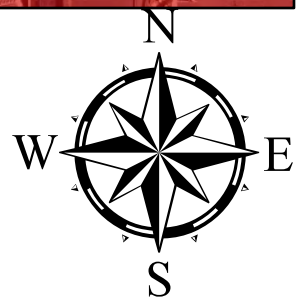


- Property to be Rezoned
- Notification Area



Zoning Map
 Agenda Item: Z-1743-24
 Address: 4908 Bullis Farm Road

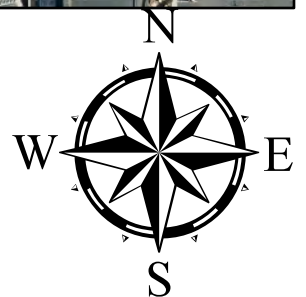
Property being rezoned.





Aerial Map
 Agenda Item: Z-1743-24
 Address: 4908 Bullis Farm Road

 Proposed property boundaries.



CITY COUNCIL

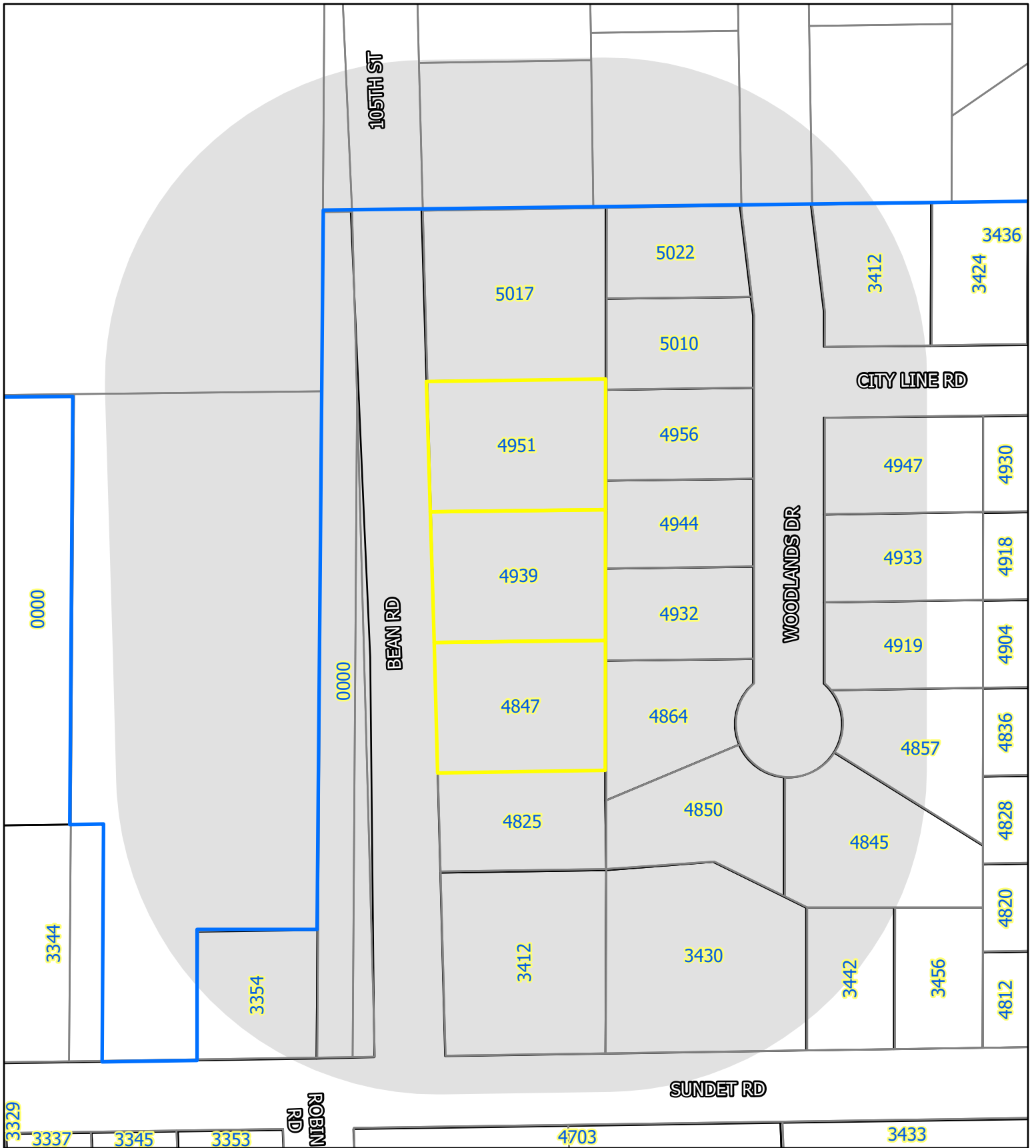
AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

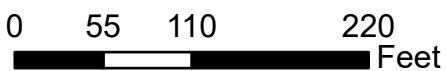
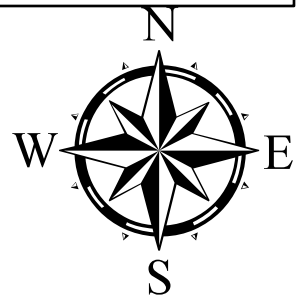
Agenda Item: Public hearing on an ordinance to rezone property from R-1 to R-2 located at 4847, 4939, 4951 Bean Road (Z-1744-24). Staff recommends canceling this item indefinitely.

SUMMARY / BACKGROUND
<p>Ordinance to rezone property from R-1 to R-2 located at 4847, 4939, 4951 Bean Road.</p> <p>The applicant has voluntarily withdrawn their application; therefore, staff recommends Council cancel this matter indefinitely.</p>

ACTION / ATTACHMENTS
<p>Action: Public Hearing</p> <p>Attachments: Map</p>



Notification Map
 Agenda Item: Z-1744-24
 Address: 4847, 4939, & 4951 Bean Road



- Subject Property
- Notification Area
- City Limits

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public hearing on an ordinance to rezone property from R-1 to R-2P and to adopt the general development plan located at 644 Mathews Drive (Z-1745-24).

SUMMARY / BACKGROUND	
Ordinance to rezone property from R-1 to R-2P and to adopt the general development plan located at 644 Mathews Drive.	
The Plan Commission unanimously voted against a recommendation for approval on a vote of 7-0.	

ACTION / ATTACHMENTS	
Action:	Public Hearing
Attachments:	Ordinance Report Map

ORDINANCE

ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DO ORDAIN AS FOLLOWS:

That the Zoning Ordinance for the City of Eau Claire, Wisconsin, is hereby amended by rezoning the following described property:

Property Location: 644 Mathews Drive; Parcel Number: 04-0391A

From

R-1 (One-Family Residential)

to

R-2P (One and Two-Family Residential District – Planned Development)

To adopt the general development plan

as shown on Planning File No. Z-1743-24, on file in the office of the Department of Community Development.

All provisions of said zoning ordinance now or thereafter adopted, and all regulations now existing or hereafter adopted by the City of Eau Claire connected with or related to R-2P district shall apply to said changed district, and the district map adopted by Section 18.60.020 of the Eau Claire Municipal Code shall thereafter be amended in accordance with this ordinance. The General Development Plan for this property, a copy of which is on file in the office of Community Development and open to public inspection during normal business hours, is hereby approved or approved with conditions, as per Section 18.10.030 B. of the Eau Claire Municipal Code.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published



Staff Report

To:	Plan Commission	Hearing Dates: Plan Commission: 8/5/24, 6:00 p.m.
From:	Community Development	
File No.:	Z-1745-24	City Council: 8/12/24, 6:00 p.m.

Agenda Item: Request to recommend approval of rezoning property from R-1 to R-2P, to adopt the general development plan for two-unit development located on Mathews Drive

Applicant: Everyday Surveying & Engineering	Property Owner: Hanson Behnke Renovations Corp
---	--

Surrounding Land Use:	North: Residential (R-1 zoning)
	East: Vacant (R-1 zoning)
	South: Residential (R-1 zoning)
	West: Vacant (R-1 zoning)

Area: +/- 5.2 acres	Comprehensive Plan: Low Density Residential
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Existing Zoning: R-1	Proposed Zoning: R-2P
----------------------	-----------------------

Existing Land Use: Vacant	Proposed Land Use: Two-Units
---------------------------	------------------------------

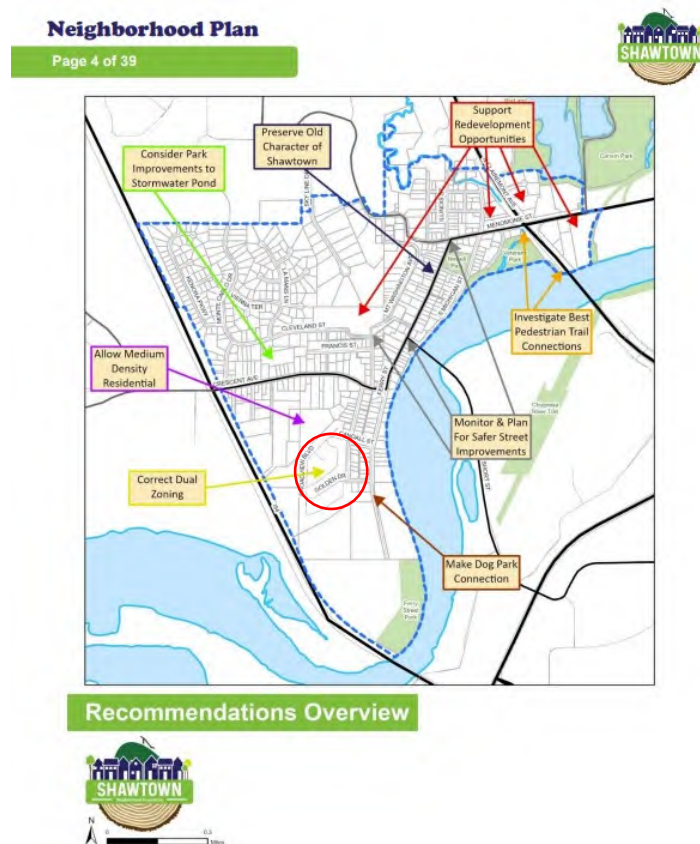
Recommendation: If the Plan Commission finds the rezoning consistent with the Comprehensive Plan, the Commission should approve rezoning with the following conditions:

1. A Final Implementation Plan is required, and site plan if necessary.
2. Certified Survey Map recorded at a later date.
3. City of Eau Claire Engineering Department approval of drainage calculations and drainage plan.
4. Record of a cross-access agreement for shared access areas with the adjacent lot.
5. In exchange for the zoning dimensional flexibilities, active recreational common space shall be provided for the development.
6. To provide housing variety, different designs shall be utilized for the architecture of the two-unit buildings (exterior materials, colors, windows, doors, entries, recessed elevations, porches, etc.)
7. A tree line shall be preserved along the northern edge of the property to provide perimeter buffer.

Analysis: Everyday Surveying & Engineering along with the property owner, Hanson Behnke Renovations Corp, is requesting a recommendation for rezoning property from R-1 to R-2P, to adopt the general development plan for a two-unit development located on Mathews Drive. The narrative for the project explains the reason for the rezoning and proposed land use. Attached in the packet is the narrative, concept development plan and aerial map.

The property owner is looking to market the 5.2 acres for two-unit development. The concept layout drawing shows 15 lots for 30 total units. This area is more challenging to develop, because the access from Crescent Avenue is not the full width of right-of-way needed for a typical City street. Mathews Drive is approximately 37 feet wide. The two existing homes along the drive will remain and are currently on well and septic. Crescent Avenue is the closest street with water, sewer and stormwater and sits higher in elevation than the subject site. The future development would be served by public water and sanitary sewer (possibly needing a lift station). The layout shows the existing right-of-way access, a potential future right-of-way, and 22' wide private internal drives. It appears these drives are within 27' wide access and utility easements. It also appears that no sidewalks are being proposed. Stormwater conveyance and storage is not detailed at this concept level, but would be required at Final Implementation Plan.

As noted the Final Implementation Plan will be required and may require final site plan, depending on the preferred arrangement of lots. A certified survey map will be required at a later date. The comprehensive plan shows this area as low density and the proposed two-unit development is consistent with the plan. The Plan Commission will need to find this land use request consistent with the comprehensive plan. The recently approved [Shawtown Neighborhood Plan](#) was supportive of development in this challenging “infill” area and supported low to medium density housing (see map below). This request will be heard by the City Council at their August 12th meeting.



MEMORANDUM



CITY OF
**EAU
CLAIRE**

ENGINEERING DEPARTMENT

SUBJECT: Z-1745-24, 644 Mathews Drive Concept Layout

DATE: July 29, 2024

A handwritten signature in black ink, appearing to read 'Al Rinka', is written over the date.

FROM: Al Rinka
Deputy City Engineer

In review of the subject concept layout, Engineering has the following comments:

The proposed lots will be accessed off a 660-foot extension of Mathews Drive via a private drive. The concept layout illustrates the public roadway width of Mathews Drive to be 22 feet, with no sidewalk or curb & gutter down the length of roadway to the private drive entrances. For Mathews Drive to be a public street, an urban cross-section and requirements of at least a marginal access street (Ord. 17.12.060 24-foot roadway width/40-foot right-of-way) would be required. If a marginal access street was granted, storm water and pedestrian accommodations would need to be addressed within the right-of-way.

Due to the proposed narrow road width and right-of-way on Mathews Drive, snow removal and snow storage is a concern for the Community Services Department. A cul-de-sac at the end of Mathews Drive meeting city specification for turnaround would be required.

Everyday Surveying and Engineering, LLC

Civil Engineering • Land Surveying



644 MATTHEWS DRIVE REZONING APPLICATION ANSWERS TO THE FIVE (5) QUESTIONS

8. *The reasons for requesting such a rezoning of property are as follows.*

This property is located on the southwest edge of the City of Eau Claire limits. Access is gained from the existing Matthews Drive Right of Way (ROW) that connects with Crescent Avenue. To get to the property, one would need to go approximately 320 feet south, along the existing Matthews Drive's ROW located south of Crescent Avenue. The property sits approximately 16 vertical feet below the adjacent existing residents to the north along Crescent Avenue. The physical geometry of the existing property is unique with an approximate north-south dimension of 1,100 feet and an average east-west dimension of 260 feet. This property currently has one (1) existing single-family residence located near the extreme southern limits. The property is currently zoned Residential (R1) but is not currently served by City public water or sanitary sewer. This property has an existing access easement through it for another single-family residence, located on a separate lot, just off the southeastern corner that has no public water or sanitary sewer service.

The owner is requesting to rezone a portion of the property, specifically Lot 1 of the Proposed Certified Survey Map (CSM). This included approximately 5.21 acres of land from R1 One-Family District to R2 One- and Two-Family District. This request is consistent with the City's Comprehensive Plan and Future Land Use Map which identifies this area as Low Density Housing (Residential) usage.

It is also the owner's choice to request with this rezoning that the property be developed as a Planned Development. This application has prepared a "Concept Layout" / General Development Plan for Lot 1 of the Proposed CSM and how it could be developed.

This Planned Development would be requesting to construct either Duplexes or Twin Homes on Lot 1 of the Proposed CSM that would gain access from the existing Matthews Drive's ROW. Furthermore, the buildings / units would be accessed through a common interest access easement. This type of development would then be serviced by City public water and sanitary sewer for this area.

Everyday Surveying and Engineering, LLC

Civil Engineering • Land Surveying



644 MATTHEWS DRIVE REZONING APPLICATION

(continued)

This Planned Development could be developed in one of two manners. The first way would be to have multiple buildings on one lot. The second way, as shown on Concept Layout / General Development Plan, the future developer would have the ability to create a “LOT” for each of the Duplex Buildings. In this case, the Planned Development would be creating lots that meet the City’s Standards for Lot Area and Building Setbacks. But would need the Planned Development overlay to allow a portion of the future lots to **not** have roadway frontage.

Either way, the proposed density of the development, excluding the future two (2) outlots for storm water management and the possible / future dedication of an addition portion of Matthews Drive ROW would be in the range of the City’s desired R2 District density, approximately 8.3 units / acre.

9. *The existing use(s) of the subject property is (are).*

The existing property currently has one (1) Single-Family Residence on the extreme southern limits, occupying approximately 1.44 acres of the property. This improved area would become Lot 2 of the Proposed CSM. The remainder of the land, Lot 1, would be approximately 5.21 acres is vacant / undeveloped land that has an existing access through it.

10. *The existing use(s) of adjacent property is (are):*

North: Immediately north there is vacant land with north of that Single-Family Residences along Crescent Avenue, all R1 District.

East: Immediately east of the majority of this side is vacant that is currently zoned R1A District, non-sewered single-family. Slightly more east is the Oak Ridge Mobile Home Park that is currently zoned Commercial (C3) and Mobile Home Park (R1B). To the southeast there is an existing single-family residence zoned R1.

South: Along this edge of the property there is land zoned Industrial (I2) with an unusable R1 District land located on steep slopes. To the southwest, off the flag pole portion of the property, is the Interstate 94 Right of Way Corridor.

Everyday Surveying and Engineering, LLC

Civil Engineering • Land Surveying



644 MATTHEWS DRIVE REZONING APPLICATION

(continued)

West: The majority of property's west side is bounded by the Matthews Drive Right of Way. Just west of that, there are lands with either larger in size vacant R1 District lands or the northern portions having some larger R1 District land with existing houses on them.

This request also creates an aspect of transitioning the zoning from the south where it is zoned Industrial (I1), on the southeastern limits as Commercial (C3), Mobile Home Park (R1B) and Single-Family Residential (R1) to the existing residence along Crescent Avenue and west of the property as Single-Family Residential (R1).

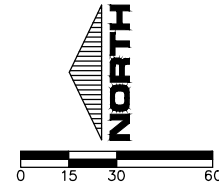
11. *The proposed uses of the subject property are:*

The proposed use of the property is to develop this land with two family residential buildings located on a uniquely positioned piece of property. All while achieving it in essentially an "In-Fill" developmental manner. Hopefully assisting in providing new, efficient, and economical housing for the City's needs and growth.

12. *The proposed time schedule for use of the subject property as described above is:*

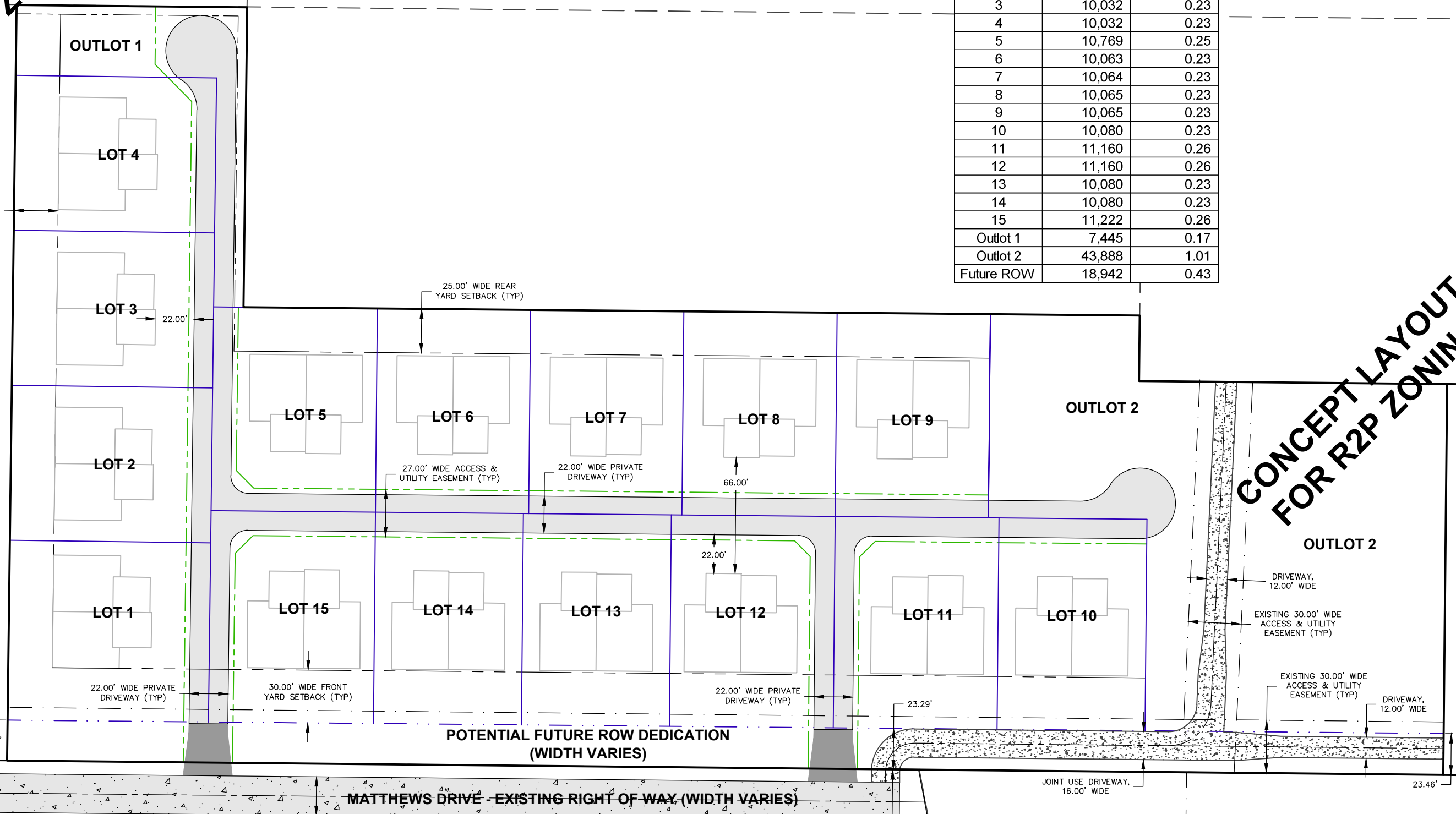
Upon the approval of the rezoning, the CSM will be submitted to be recorded. Once it is recorded Lot 2 (with the existing house) will be sold. Lot 1 will be presented to local developers, whom already have interest in being developing this site within the next calendar year.

CONCEPT LAYOUT FOR R2P ZONING

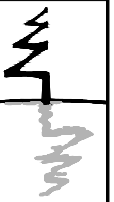


CONCEPT LAYOUT AREAS		
Lot	Area (s.f.)	Area (acre)
1	11,616	0.27
2	10,032	0.23
3	10,032	0.23
4	10,032	0.23
5	10,769	0.25
6	10,063	0.23
7	10,064	0.23
8	10,065	0.23
9	10,065	0.23
10	10,080	0.23
11	11,160	0.26
12	11,160	0.26
13	10,080	0.23
14	10,080	0.23
15	11,222	0.26
Outlot 1	7,445	0.17
Outlot 2	43,888	1.01
Future ROW	18,942	0.43

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CONCEPT LAYOUT FOR R2P ZONING



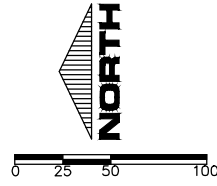
EVERYDAY SURVEYING & ENGINEERING
711 S. HILLCREST PARKWAY • ALTOONA, WI 54720
PH: (715) 891-0654 • EMAIL: INFO@ESE.CO

DR BY: XXX JOB NO: 24043
CHK BY: MAE DWG NAME: DESIGN 1
DATE: 06-02-2024 APPR: XX-XX-XX

MATTHEWS DRIVE - LOT 1
CONCEPT LAYOUT FOR R2P ZONING
CITY EAU CLAIRE, WI

SHEET NO: EX100

**CONCEPT LAYOUT
FOR R2P ZONING**

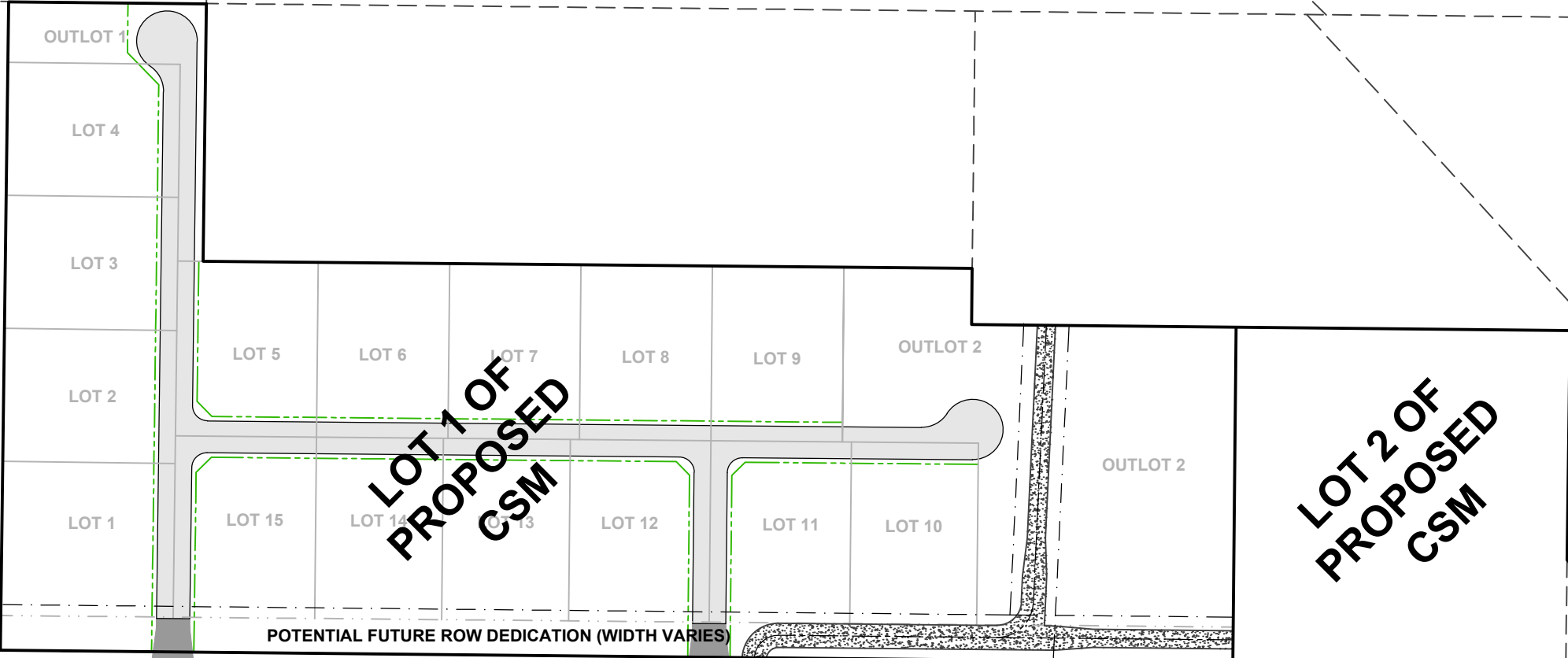


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CRESENT AVENUE

MATTHEWS DRIVE - EXISTING RIGHT OF WAY (WIDTH VARIES)

VAN BUREN STREET



**LOT 1 OF
PROPOSED
CSM**

**LOT 2 OF
PROPOSED
CSM**

**CONCEPT LAYOUT
FOR R2P ZONING**



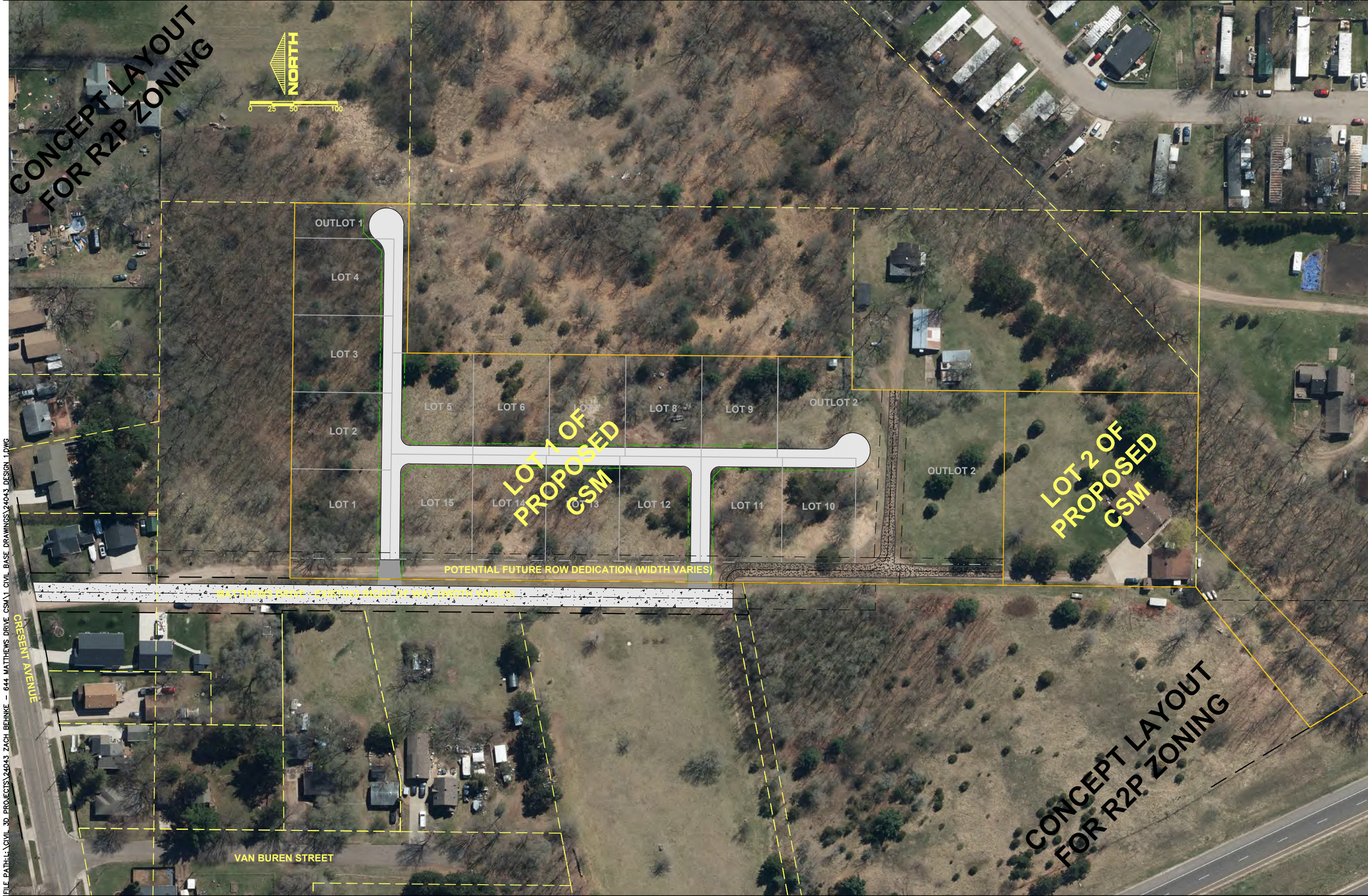
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DR BY:	XXX	JOB NO:	24043
CHK BY:	MAE	DWG NAME:	DESIGN 1
DATE:	06-02-2024	APPROV:	XX-XX-XX

**MATTHEWS DRIVE - OVERVIEW
CONCEPT LAYOUT FOR R2P ZONING
CITY EAU CLAIRE, WI**

SHEET NO:
EX200

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EVERYDAY SURVEYING & ENGINEERING

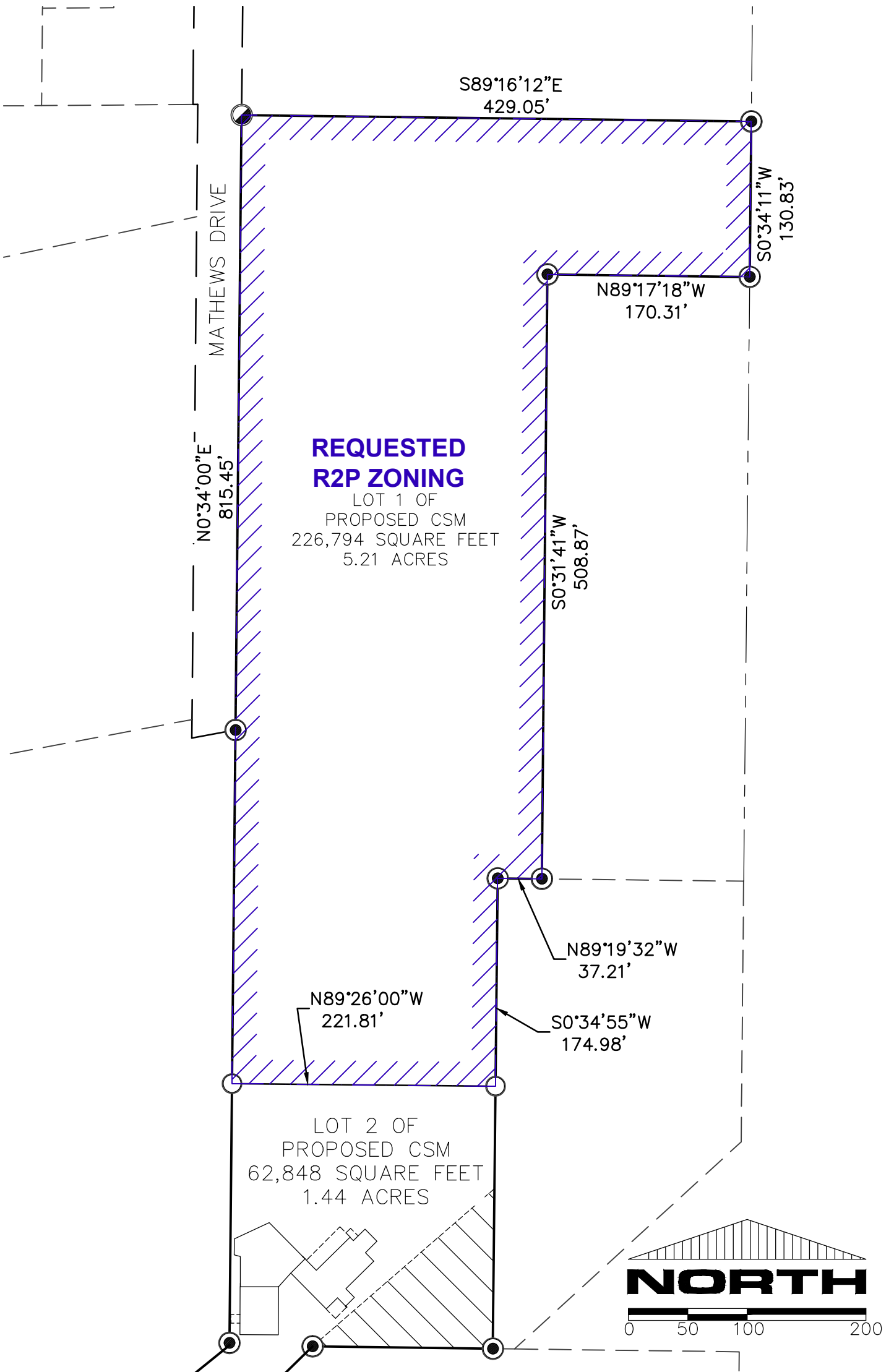
711 S. HILLCREST PARKWAY • ALTOONA, WI 54720
 PH: (715) 891-0694 • EMAIL: INFO@ESE.CO

DR BY: XXX	JOB NO: 24043
CHK BY: MAE	DWG NAME: DESIGN 1
DATE: 06-02-2024	APPR: XX-XX-XX

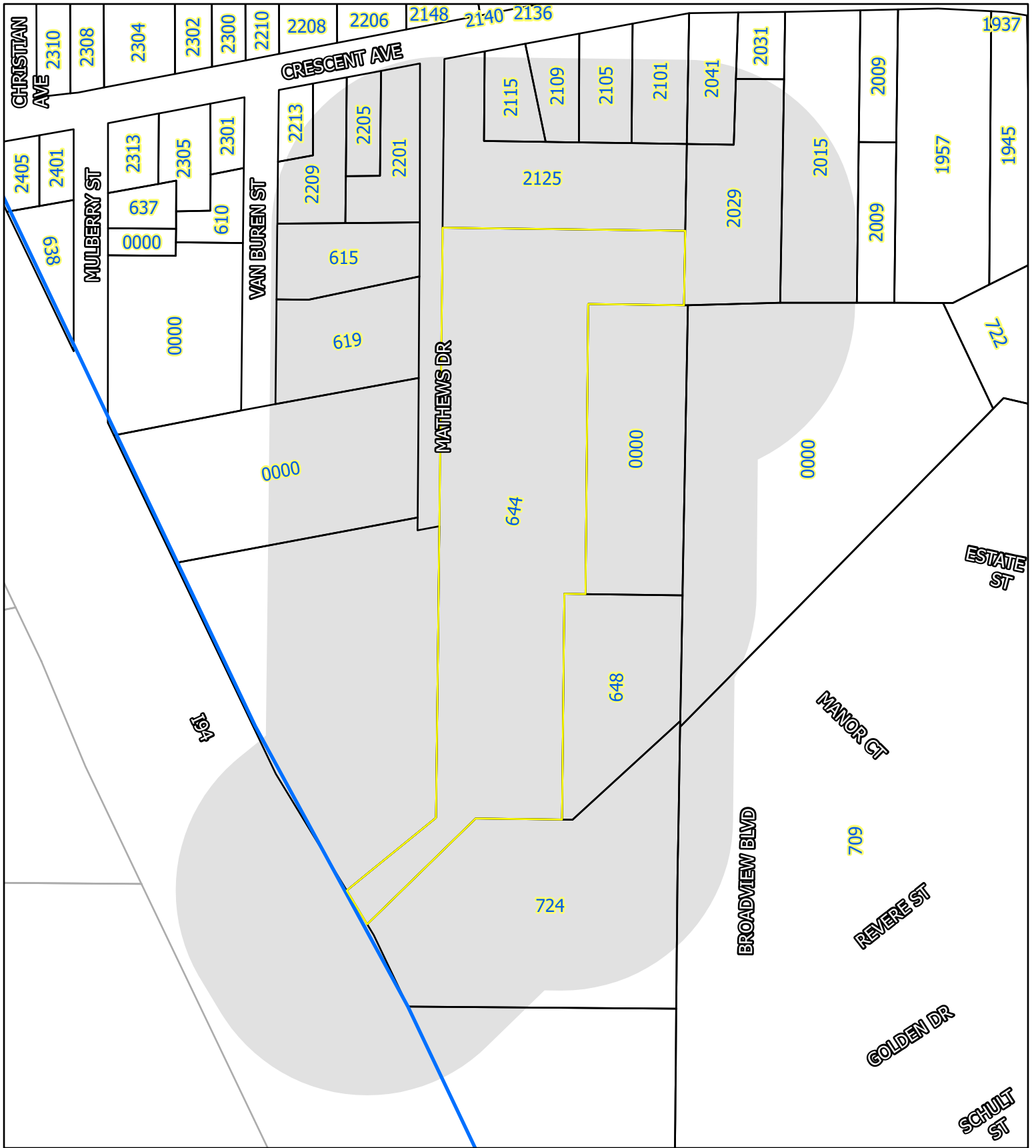
MATTHEWS DRIVE - OVERVIEW IMAGE
 CONCEPT LAYOUT FOR R2P ZONING
 CITY EAU CLAIRE, WI

SHEET NO: EX201

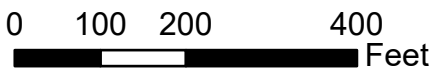
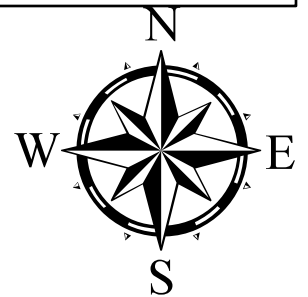
644 MATTHEWS DRIVE REZONING EXHIBIT MAP



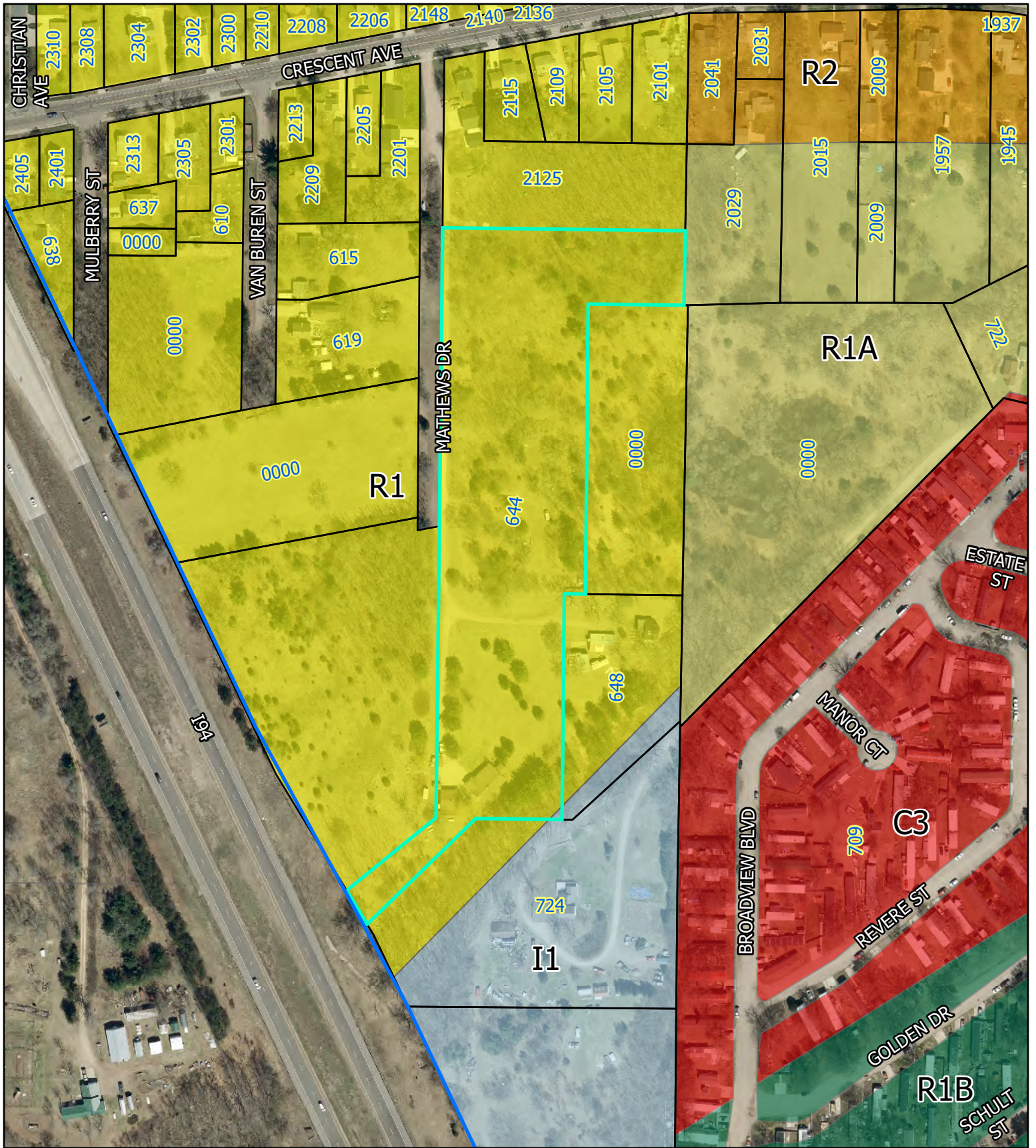
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 711 S HILLCREST PARKWAY • ALTOONA, WI 54720
 PH: (715) 831-0654 • EMAIL: INFO@ESELLC.CO



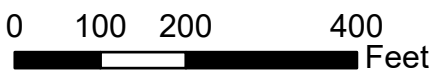
Notification Map
 Agenda Item: Z-1745-24
 Address: 644 Mathews Drive



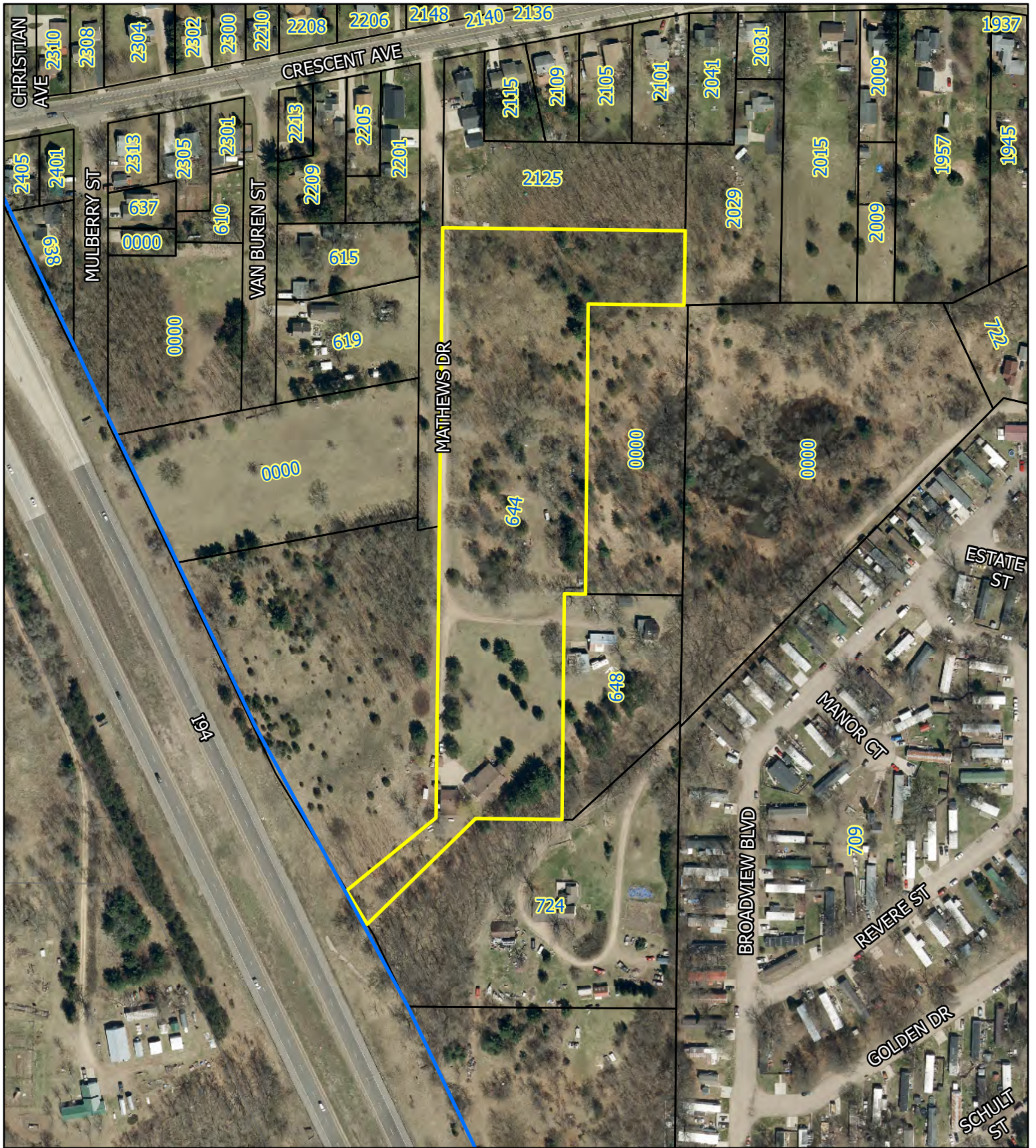
- City Limits
- Subject Property
- Notification Area



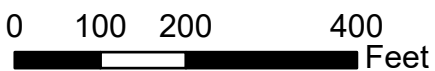
Zoning Map
 Agenda Item: Z-1745-24
 Address: 644 Mathews Drive



- City Limits
- Subject Property



Aerial Map
 Agenda Item: Z-1745-24
 Address: 644 Mathews Drive



- City Limits
- Subject Property

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public hearing on an ordinance annexing land to the City of Eau Claire located in the Town of Washington, Eau Claire County, as shown on Planning Drawing No. 24-2A.

SUMMARY / BACKGROUND

This parcel is located in the Town of Washington, Eau Claire County, Section 4, Township 26 North, Range 9 West, Town of Washington, Eau Claire County.

Annexation ordinances require a two-thirds (2/3) vote “of the elected members of the governing body,” in accordance per Wisconsin Statutes 66.0217(8). Therefore, eight (8) affirmative votes are required of the 11 elected Council members for the Council to pass an annexation ordinance.

The Plan Commission was unanimous in their support of the annexation.

ACTION/ATTACHMENTS

Action: Public Hearing

Attachments: Ordinance
Report
Map
DOA Letter

ORDINANCE

ORDINANCE ANNEXING TERRITORY TO THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

Section 1. Territory Annexed. In accordance with Section 66.0217(2) of the Wisconsin Statutes, the following described territory in the Town of Washington, Eau Claire County, Wisconsin, by unanimous consent is annexed to the City of Eau Claire, Wisconsin.

**FRASE ANNEXATION (Petition #14684)
Town of Washington**

PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 4, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF WASHINGTON, EAU CLAIRE COUNTY, WISCONSIN.

Commencing at the East Quarter Corner of said Section 4;
Thence S88° 42'51 "W, 1294.31 feet along the East-West Quarter Line of said Section 4 to the westerly line of Certified Survey Map Number 3570, recorded in Volume 20 of Certified Survey Maps, on Page 141, as Document Number 1191808 and the Point of Beginning;
Thence continuing S88° 42'51 "W, 1294.31 feet along said East-West Quarter Line to the Center Quarter Corner of said Section 4;
Thence NOI° 22'52"E, 625.22 feet along the West line of said Southwest Quarter of the Northeast Quarter to the Southerly right-of-way line of Interstate Highway "94";
Thence N89° 35'38"E, 865.00 feet along said right-of-way line;
Thence N87° 18' 12"E, 436.24 feet along said right-of-way line to the Northwest corner of Lot 3 of said Certified Survey Map;
Thence S02° 00'28"W, 623.03 feet along said Certified Survey Map and to the point of beginning.

Said parcel contains 801,292 square feet or 18.40 total acres, more or less.

Current population of such territory is zero (0).

Section 2. Effect of Annexation. From and after the date of this ordinance, the territory described in Section 1 shall be part of the City of Eau Claire for any and all purposes provided by law and all persons coming or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Eau Claire.

Section 3. Zoning Classification. The territory annexed to the City of Eau Claire by this ordinance is designated to be R-3 Low-Rise Multiple-Family District for zoning purposes and subject to all provisions of the zoning ordinance of the City of Eau Claire relating to such district classification and to zoning in the city.

Section 4. Ward Designation. The territory described in Section 1 of this ordinance is hereby made a part of the 15th Assessment Ward, the 2nd Aldermanic District of the City of Eau Claire, and Voting Ward 28. of the City of Eau Claire, subject to all ordinances, rules and regulations of the city governing wards and districts.

Section 5. Severability. If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstance is invalid or unconstitutional, such

invalidity or unconstitutionality shall not affect the other provisions or application of this ordinance which can be given effect without the invalid or unconstitutional provisions or applications.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published
Effective



Staff Report

To: Plan Commission Hearing Dates:
 Plan Commission: 8/5/24, 6:00 p.m.

From: Community Development

File No.: 24-2A City Council: 8/12/24, 6:00 p.m.

Agenda Item: A petition to annex vacant land to the City of Eau Claire located in the Town of Washington along I-94

Applicant: Everyday Surveying & Engineering Property Owners: Dean Frase

Surrounding Land Use: North: Interstate I-94
 East: R-3, Low-Rise Multiple Family Residential
 South: P, Public (Lowes Creek County Park)
 West: F-2, Forestry Limited

Area: +/- 18.40 Acres

Existing Zoning: A-2, Agriculture-Residential Proposed Zoning: R-3

Existing Land Use: Vacant/farming Proposed Land Use: Mixture of Housing

Recommendation: Staff recommends approval of this annexation.

Analysis: Everyday Surveying and Engineering has submitted a petition for annexation of +/- 18.40 acres located south of I-94 and west of Lorch Avenue. The land is currently located in the Town of Washington and the property owner wishes to annex into the City of Eau Claire. The property is located within the Sewer Service Area of the City of Eau Claire. This request is consistent with the Comprehensive Plan for future urban growth and a mixture of housing. The State of Wisconsin's Department of Administration has found the annexation to be in the public's interest.

ANNEXATION PETITION NARRATIVE

Lands currently within the Town of Washington, Eau Claire County, Wisconsin.

Purpose:

The petitioners desire to annex 1 parcel of their ownership to the City of Eau Claire to allow a future residential development to have sanitary sewer and water main services when the City makes the services available.

This will be direct annexation by unanimous approval.

The total area of the 1 parcel of land requesting to be annexed is 18.40 acres and currently has zero (0) residents. Eau Claire County has a total population of 105,710 as of 2020.

ANNEXATION MAP

PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 4, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF WASHINGTON, EAU CLAIRE COUNTY, WISCONSIN.

VICINITY MAP



BEARINGS ARE REFERENCED TO THE EAST-WEST QUARTER LINE OF SECTION 4 ASSUMED TO BEAR S88°42'51\"

LEGEND
 PUBLIC LAND SURVEY MONUMENT
 FOR POINT OF BEGINNING



PARCEL DESCRIPTION

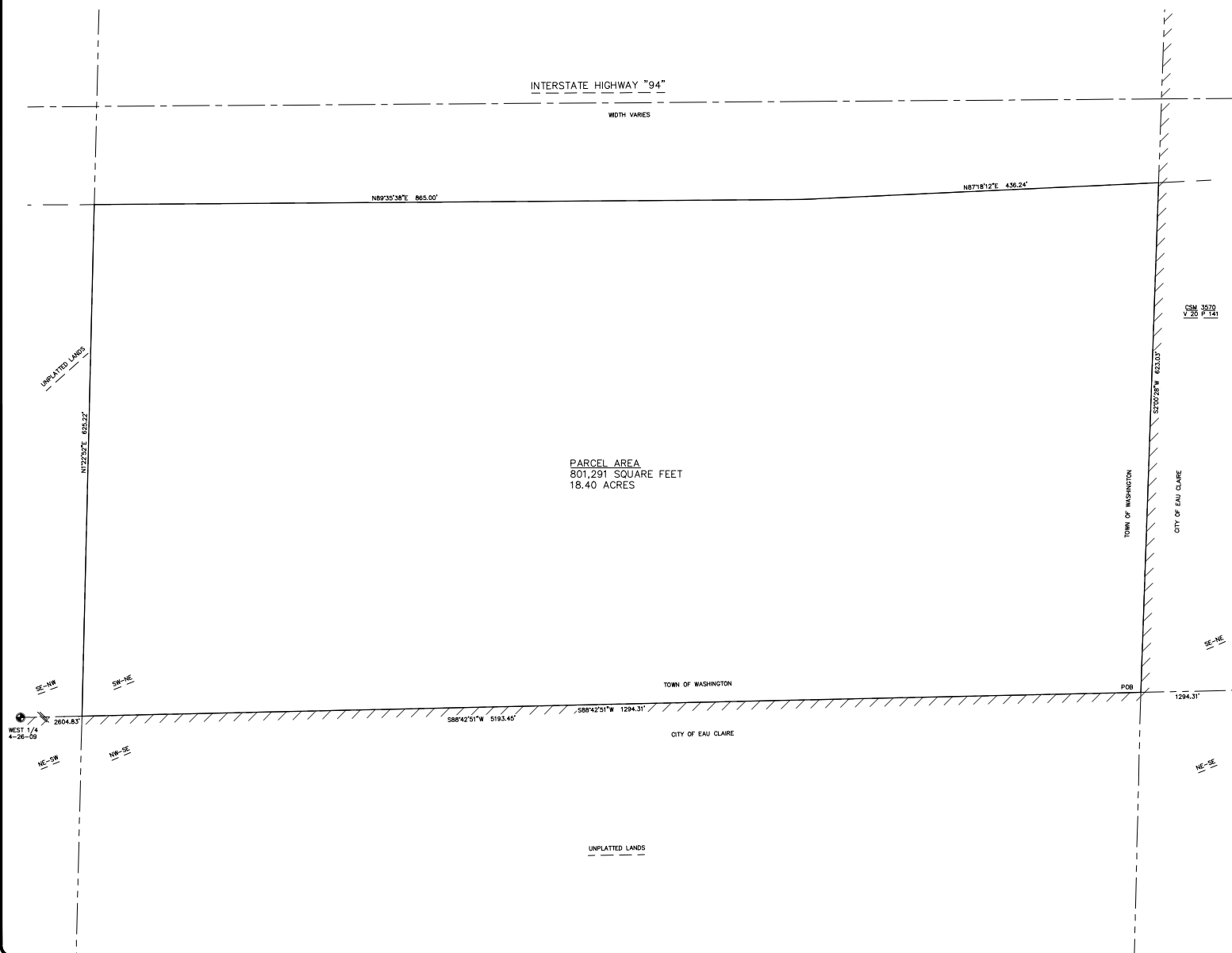
PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 4, TOWNSHIP 26 NORTH, RANGE 9 WEST, TOWN OF WASHINGTON, EAU CLAIRE COUNTY, WISCONSIN.

Commencing at the East Quarter Corner of said Section 4;
 Thence S88°42'51\"

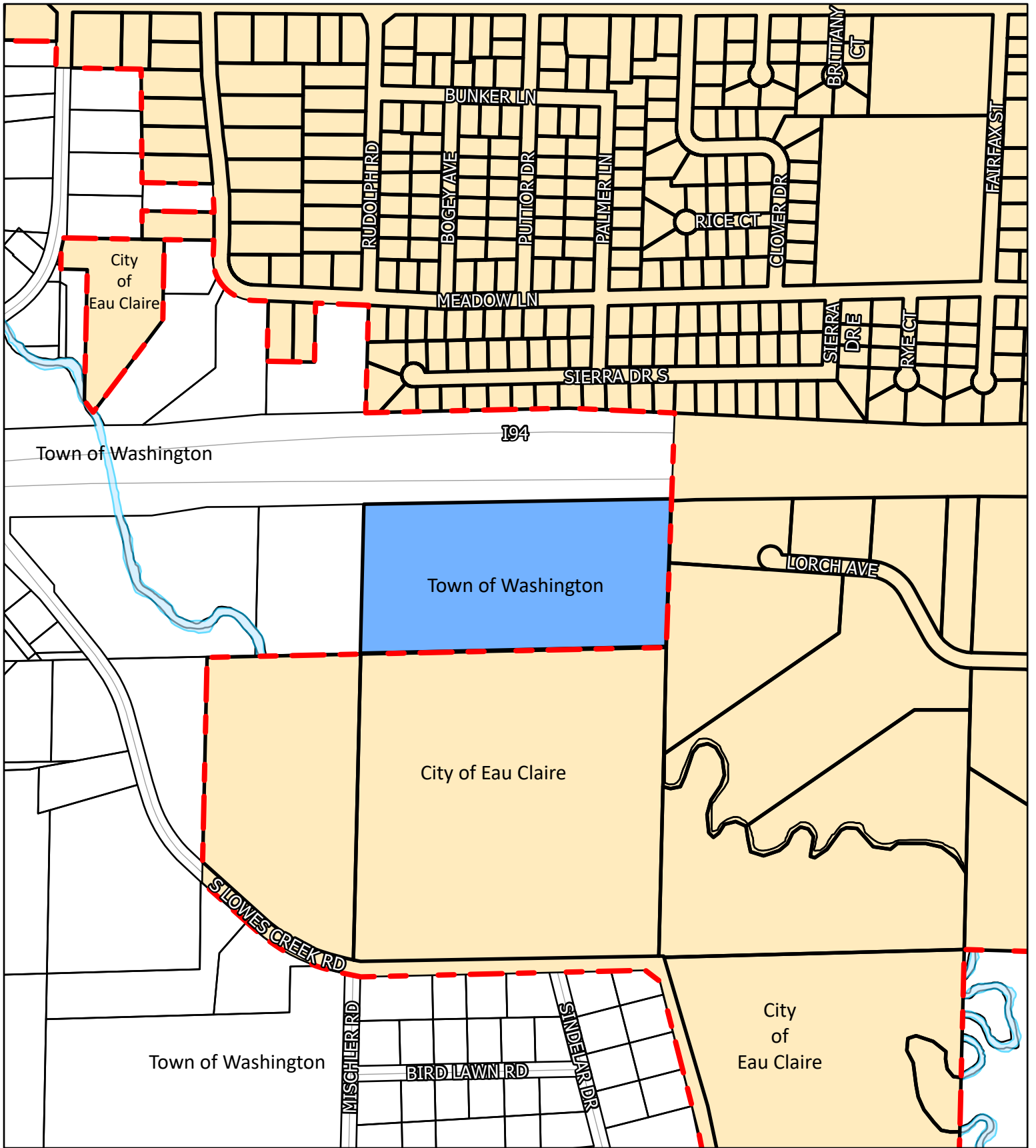
Said parcel contains 801,291 square feet or 18.40 total acres, more or less.

PARCEL AREA
 801,291 SQUARE FEET
 18.40 ACRES

CSM 3570
 Y 20 P 141



EVERYDAY SURVEYING & ENGINEERING
 1818 BRACKETT AVENUE • EAU CLAIRE, WI 54701
 PH: (715) 831-0664 • EMAIL: INFO@SELLCCO

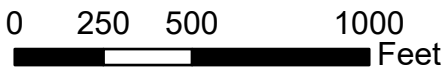


CITY OF
**EAU
CLAIRE**

Annexation File #

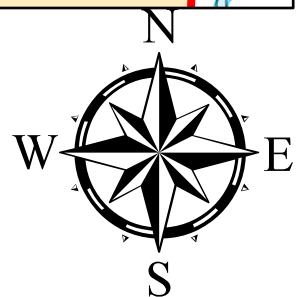
2024-2A

Lands located in Town of Washington,
Eau Claire County



City of Eau Claire
Existing City Limits

Subject Property
Town of Washington





TONY EVERS

GOVERNOR

KATHY BLUMENFELD

SECRETARY

Municipal Boundary Review

PO Box 1645, Madison WI 53701

Voice (608) 264-6102 Fax (608) 264-6104

Email: wimunicipalboundaryreview@wi.gov

Web: <http://doa.wi.gov/municipalboundaryreview>

July 25, 2024

PETITION FILE NO. 14684

KRISTINA KUZMA, CLERK
CITY OF EAU CLAIRE
PO BOX 5148
EAU CLAIRE, WI 54702-5148

JANELLE HENNING, CLERK
TOWN OF WASHINGTON
5750 OLD TOWN HALL ROAD
EAU CLAIRE, WI 54701-8948

Subject: FRASE ANNEXATION

The proposed annexation submitted to our office on July 05, 2024, has been reviewed and found to be in the public interest. In determining whether an annexation is in the public interest, s. 66.0217 (6), Wis. Stats. requires the Department to examine "[t]he shape of the proposed annexation and the homogeneity of the territory with the annexing village or city..." so as, to ensure the resulting boundaries are rational and compact. The statute also requires the Department to consider whether the annexing city or village can provide needed municipal services to the territory. The subject petition is for territory that is reasonably shaped and contiguous to the City of Eau Claire, which is able to provide needed municipal services.

The Department reminds clerks of annexing municipalities of the requirements of s. 66.0217 (9)(a), Wis. Stats., which states:

"The clerk of a city or village which has annexed shall file immediately with the secretary of administration a certified copy of the ordinance, certificate and plat, and shall send one copy to each company that provides any utility service in the area that is annexed. The clerk shall record the ordinance with the register of deeds and file a signed copy of the ordinance with the clerk of any affected school district..."

State and federal aids based on population and equalized value may be significantly affected through failure to file with the Department of Administration. Please file a copy of your annexing ordinance, including a statement certifying the population of the annexed territory. **Please include your MBR number 14684 with your ordinance.** Ordinance filing checklist available at <http://mds.wi.gov/>, click on "Help on How to Submit Municipal Records". Email scanned copy of required materials (color scan maps with color) to mds@wi.gov or mail to: Wisconsin Department of Administration, Municipal Boundary Review, PO Box 1645, Madison WI 53701-1645.

The petition file is available for viewing at: <http://mds.wi.gov/View/Petition?ID=2758>
Please call me at (608) 264-6102, should you have any questions concerning this annexation review.

Sincerely,

Erich Schmidtke, Municipal Boundary Review

cc: petitioner

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public hearing on a resolution approving a site plan in a P-Public district for the Treatment Facility and other improvements located at 2711 Riverview Drive (File PZ-2401).

SUMMARY / BACKGROUND	
<p>This resolution approves a site plan in a P-Public district for the Treatment Facility and other improvements located at 2711 Riverview Drive.</p> <p>The Plan Commission recommended approval of the site plan.</p>	

ACTION / ATTACHMENTS	
Action:	Public Hearing
Attachments:	Resolution Report Map

RESOLUTION

A RESOLUTION APPROVING THE SITE PLAN IN A P-PUBLIC DISTRICT FOR THE TREATMENT FACILITY AND OTHER IMPROVEMENTS LOCATED AT 2711 RIVERVIEW DRIVE IN THE CITY OF EAU CLAIRE.

BE IT RESOLVED by the City Council of the City of Eau Claire that the City Council hereby approves the site plan in a P-Public District for the Treatment Facility and other improvements located at 2711 Riverview Drive.

Adopted,
August 13, 2024

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma



Staff Report

To: Plan Commission Hearing Dates:
Plan Commission: 8/5/24, 6 p.m.

From: Community Development

File No.: PZ-2401 City Council: 8/12/24, 6 p.m.

Agenda Item: A recommendation regarding the site plan in a P-Public District for the Treatment Facility and other improvements located at 2711 Riverview Drive (Water Treatment Plant)

Applicant: City of Eau Claire Area: +/- 140 acres

Surrounding Land Use: North: Wellfields
East: Hillside/Single-family housing
South: Wellfields
West: Riverview Park/Chippewa River

Existing Zoning: P – Public Proposed Zoning: Same

Existing Land Use: Vacant Proposed Land Use: Treatment Facility

Analysis: The City is requesting a recommendation regarding a site plan in a P-Public district for the Treatment Facility and other improvements at 2711 Riverview Drive. The use is permitted in P-Public. The parcel is approximately 140 acres in size. Attached is the narrative, site plan, building elevations/renderings and floor plan showing the proposed project.

The narrative provided by Gannett Fleming explains the purpose is to remove Per- and polyfluoroalkyl substances (PFAS) using a new treatment facility. This upgrade will comply with the Wisconsin Drinking Water Standard and the recently proposed EPA Maximum Contaminant Levels for PFAS in drinking water. Improvements will be completed within open space and only two trees will be removed.

The 15,189 s.f. facility will be constructed north of the existing water treatment plant and connected to it by an enclosed 575 s.f. corridor ramp link. The two-story 34'-4" tall facility will be setback 100' or more from any property line. A corner of the proposed building appears to be located within the 100-year floodplain and therefore will be subject to floodplain rules. Construction plans show the finished floor elevation at approximately 804', which meets rules being at least 2' above the Base Flood Elevation of 801'.

The abandoned "caretaker" house located near the parking lot off Riverview Drive will be demolished due to environmental concerns (lead and asbestos). The site will become an underground tank equalization basin. The function will relieve rinse backwash from cleaning medium in the treatment facility. The stone on this house will be reclaimed for the new facility.

Filed documents state, "[the treatment facility] will be built slab on grade with a conventional frost footing system under engineered fill. The building exterior is anticipated to be clad with bearing textured and colored insulated precast or tiltup concrete panels that will be tailored to

be compliment the site and existing building by having a form liner cut stone pattern applied and painted to be similar to the existing stone. To more closely match existing building the road facing elevation will have cut stone veneer to look more like the existing building.”

Other improvements are noted on site plans. A backup diesel generator will be installed for the entire plant redundancy near the existing electrical transformer. Access roads will be paved and realigned to serve the proposed facility. Stormwater systems associated with the new treatment building, and new access roadways to the building will be incorporated into the civil design. The project will be required to meet Total Suspended Solids limits (80% reduction) which is anticipated to be handled by overland flow through the grass acting as filter strips. No separate ponds or infiltration basins are anticipated to be necessary. Site restoration includes re-grading the site, top soiling, and seeding. Exterior LEDs lighting target foot-candle (fc) illumination levels will be designed based on the recommendations of the Illuminating Engineering Society (IES) and proposed 0.5 fc on finished grade at 10 feet from building (color temperature to be selected to not attract insects).

The City Council will review the site plan at their August 12th meeting.

If the proposed site plan improvements are acceptable, a recommendation to the City Council should include the following conditions:

- 1) Obtain all required Local, State and Federal permitting.
- 2) Submit a Floodplain Development Permit application and obtain a Letter of Map Change if impacting the 100-year floodplain.
- 3) Provide a vegetative screen (e.g., arborvitae type) between the chain link fence and the concrete equalization basin to soften the view from the public parking lot.
- 4) Exterior lighting shall be shielded using full cut-off fixtures, unless exempt from City ordinance.
- 5) Meet Total Suspended Solids limits (80% reduction).

Executive Summary

On August 1st, 2022, the State of Wisconsin revised its NR 809 safe drinking water standard that sets a Maximum Contaminant Level (MCL) of 70 parts per trillion (ppt) for Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS) in drinking water. In March 2023, the Environmental Protection Agency (EPA) proposed to establish legally enforceable levels for six PFAS to protect the public health. EPA has proposed an MCL of 4.0 ppt for both PFOA and PFOS as well as a combined Hazard Index value of 1.0 for PFBA, PFHxS, PFBS, and GenX Chemicals). The Hazard Index is a tool used to evaluate health risks of simultaneous exposure to mixtures of related chemicals.

In order to comply with these new MCLs, The City of Eau Claire plans to construct a PFAS treatment system at the existing water treatment plant located at 2711 Riverview Dr in Eau Claire, Wisconsin.

Necessary upgrades were identified based on the water quality sampling results. The site upgrades include construction of a new building that will house the PFAS treatment system and the installation of Ion exchange (IX) treatment systems. The planned upgrades will not increase or decrease the firm capacity of the wells or of the treatment facility.

Additional upgrades include three new chemical rooms to house new chemical feed systems for Sodium Hypochlorite, Fluoride, and Ammonia. In addition, there will be a new raw water vault, new magnetic flow meters on the plant effluent, and a permanent diesel emergency generator.

Architectural, civil, electrical, structural, instrumentation, SCADA, HVAC and plumbing upgrades will also be implemented to accommodate the new treatment system at the existing location.

This project will require approvals from the state, county, and local regulatory agencies.

1. Background

1.1 Project Location

The City of Eau Claire, located in the northwestern region of Eau Claire County Wisconsin is approximately 85 miles east of Minneapolis-St. Paul. The City of Eau Claire, WI (City) owns and operates a centralized water treatment plant located at 2711 Riverview Dr, Eau Claire, WI near a residential area on the east and the Chippewa River on the west. Eau Claire North High School is located nearly a mile to the east of the existing treatment building.

1.2 Topography

The elevations range from 757 ft to 998 ft within the City limits. The City has an approximate area of 34.14 square miles. According to the USGS Map there are two local roadways to access the project site.

1.3 Population

Based on the United States Census Bureau, the population estimates for the City of Eau Claire is approximately 69,441 residents in 2021. This is a steady increase from the 2010 Census with a record of 66,304 residents. Considering the constant population growth, the design period for the proposed infrastructure is 60 years or until the system is deteriorating.

1.4 Flooding

The project site is located near the Chippewa River floodplain. The 100-year flood elevation for this location is approximately 801.5 (between the 801.3 and the 801.9 cross sections). Refer to Appendix H for the Floodplain Map.

1.5 Wetlands

There are no wetlands located on the project site. Refer to Appendix H for the Wetlands and Indicator Soils Map.

1.6 PFAS Compounds

Perfluorooctanoic Acid (PFOA), Perfluorooctane Sulfonate (PFOS), and Perfluorohexane sulfonate (PFHxS) are chemical substances that have been used for decades to manufacture firefighting foam, many common household, and consumer products.

Wisconsin Department of Natural Resources Board's currently enforces a public drinking water standards of 70 parts per trillion (ppt) for PFOA and PFOS, and 40 parts per trillion (ppt) for PFHxS. In March 2023, EPA proposed federal regulation with MCLs of 4.0 ppt for both PFOA and PFOS and 1.0 Hazard Index for PFHxS.

In accordance with the public drinking water standards, the City of Eau Claire monitors the water quality

in its well water sources. Based on the water quality shown in Table 2 below, treatment will be required for several PFAS compounds.

To comply with these new MCLs, the City plans to construct an addition to their water treatment plant to house a PFAS treatment facility. Based on the existing raw and finished water conditions, Gannett Fleming has reviewed a number of PFAS treatment technologies and selected Granular Activated Carbon and Ion Exchange Resins for pilot testing. The planned upgrade will not impact the firm capacity of the wells but will add Ion Exchange (IX) adsorption technology as treatment to remove PFAS compounds and ensure compliance with the new regulations.

The pilot test is currently underway and as of now it is determined that IX media will be the best treatment alternative for Eau Claire's water treatment plant. Two manufacturers, Calgon and Evoqua, provided pilots based on proposed full-scale design. The pilot tests are expected to continue running for up to 8 - 12 months. Pilot testing for Calgon began in March 2023, while Evoqua's testing began in April 2023. In August 2023 it was determined through the pilot that IX is the preferred technology for Eau Claire.

3. Architectural

The building to be constructed will meet the Wisconsin State Building Code and local building ordinances. The building exterior is anticipated to be clad with bearing textured and colored insulated precast or tilt-up concrete panels that will be tailored to be complimentary to the site and existing building by having a form liner cut stone pattern applied and painted to be similar to the existing stone. To more closely match existing building the road facing elevation will have cut stone veneer to look more like the existing building. The building roof will use a single ply membrane roof over rigid insulation and a low-slope roof deck. The roof deck in the IX room will be galvanized steel metal deck supported by steel bar joists. The roof deck over the chemical room areas will be precast concrete plank. Doors will be constructed of fiberglass reinforced plastic (FRP), and hollow metal or aluminum with a superior organic coating to protect them from the elements. Larger overhead door openings will use painted coiling insulated metal doors. Daylighting openings and tank removal panels will use an insulated translucent fiberglass panel system as infill materials.

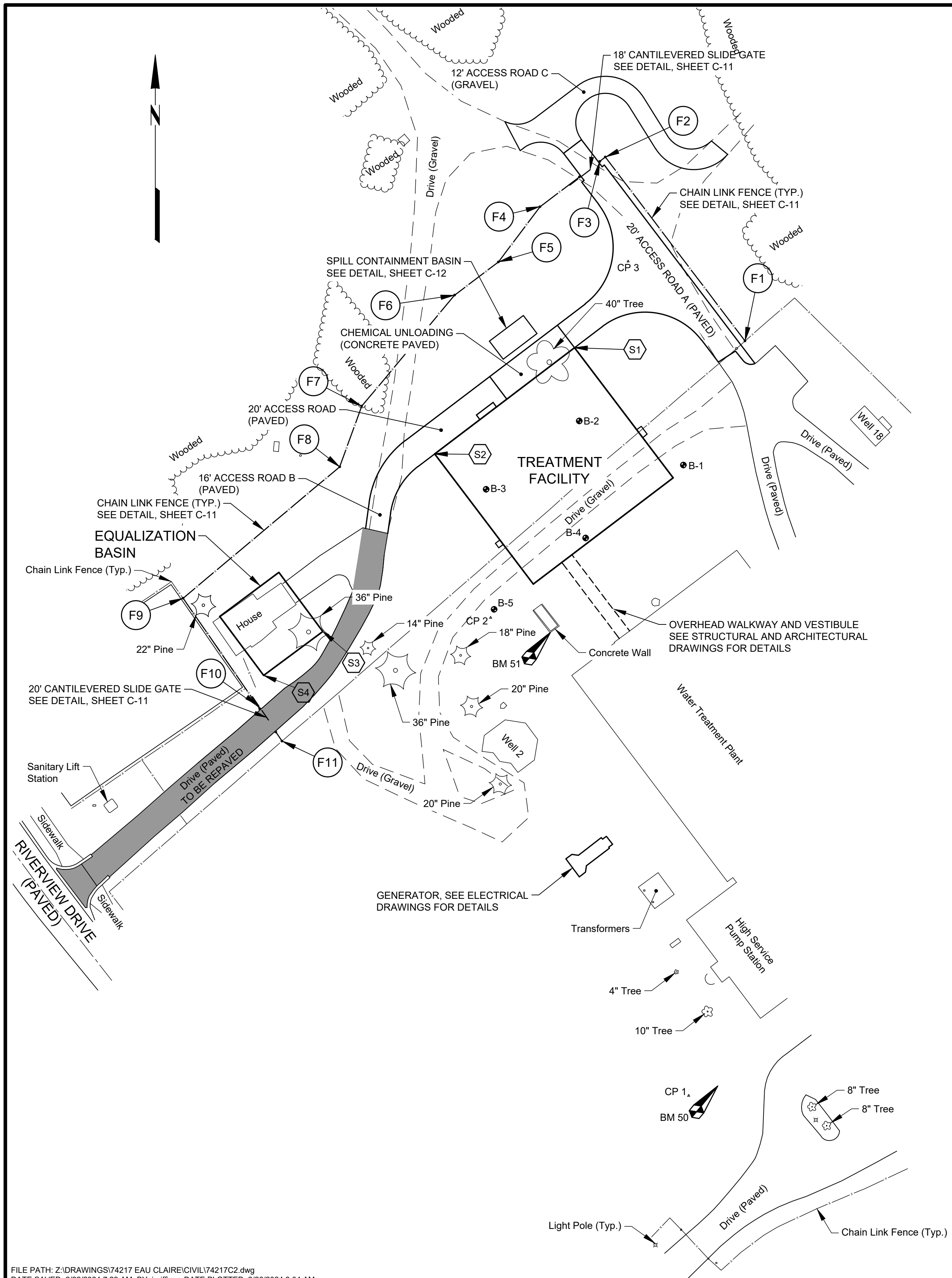
3.1. Equipment Maintenance Access

IX vessel removal/replacement shall be facilitated by an overhead door. A minimum of 3 feet of clearance will be provided around all IX vessels for maintenance.

4. Civil/Site Design

The civil/site design will include the following:

- Preparation of the new site area to receive the new IX treatment building.
- Installation of piping systems.
- Installation of meter chamber on the east of the new building.
- Installation of equalization tank for backwash water.
- Stormwater systems, as required, associated with the new IX treatment building, and new access roadways to the IX building will be incorporated into the civil design.
- Landscape plans will be prepared to mitigate any negative views to adjoining properties users created by the proposed project elements or from removal of existing vegetation, if required. Plant material will be selected from native or adapted species and selected to provide seasonal interest and screening. Local plant guidelines or plant lists, if available, will be reviewed and incorporated as appropriate.
- Site restoration includes re-grading the site, top soiling, and seeding.



HORIZONTAL CONTROL

CP1	N 291201.587	E 399921.278	EL. 802.655
CP2	N 291539.073	E 339781.435	EL. 802.429
CP3	N 291790.677	E 339878.521	EL. 807.899

BENCHMARK

- BM 50 - BURY BOLT ON HYDRANT - ELEVATION 804.363
- BM 51 - SOUTHWEST CORNER OF CONCRETE WALL - ELEVATION 808.588

STRUCTURAL CONTROL

S1	NORTHEAST CORNER OF TREATMENT FACILITY	N 291729.72	E 339840.63
S2	NORTHWEST CORNER OF TREATMENT FACILITY	N 291654.74	E 339741.86
S3	SOUTHEAST CORNER OF EQUALIZATION BASIN	N 291529.34	E 339662.92
S4	SOUTHWEST CORNER OF EQUALIZATION BASIN	N 291498.28	E 339621.22

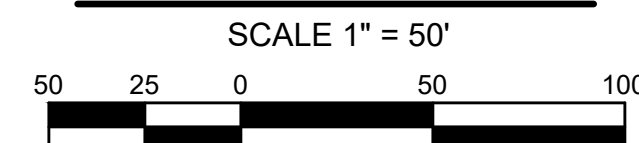
BORING CONTROL

B-1	N 291646.79	E 339917.53
B-2	N 291677.97	E 339844.09
B-3	N 291629.72	E 339778.29
B-4	N 291695.33	E 339848.51
B-5	N 291544.93	E 339783.87

FENCE CONTROL

F1	CONNECT TO EXISTING FENCE	N 291734.46	E 339961.08
F2	FENCE CORNER	N 291864.33	E 339862.49
F3	GATE POST	N 291861.30	E 339858.51
F4	FENCE CORNER	N 291829.26	E 339816.29
F5	FENCE CORNER	N 291790.25	E 339786.89
F6	FENCE CORNER	N 291766.80	E 339756.00
F7	FENCE CORNER	N 291688.47	E 339690.43
F8	FENCE CORNER	N 291645.63	E 339674.87
F9	FENCE CORNER	N 291552.82	E 339564.26
F10	GATE POST	N 291474.71	E 339618.38
F11	CONNECT TO EXISTING FENCE	N 291451.92	E 339634.17

LOCATION PLAN



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No.	DESCRIPTION	DATE	BY

DESIGNED	CADD	SCALE
J.L.G.	J.L.G.	AS NOTED
CHECKED	APPROVED	APPROVED
T.J.G.	S.Z.L.	—

GANNETT FLEMING
 HARRISBURG, PENNSYLVANIA

CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

BID DOCUMENTS
 CIVIL
**GENERAL LOCATION PLAN
 AND CONTROL DATA**

JOB No.	74217
DATE	MARCH 2024

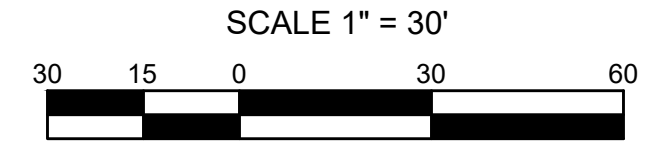
SHEET No.
C-2



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Sophia Liskovich
 WISCONSIN
 E-49960
 Baltimore
 MD
 PROFESSIONAL ENGINEER

EXISTING CONDITIONS PLAN



				GANNETT FLEMING		CITY OF EAU CLAIRE EAU CLAIRE, WISCONSIN		BID DOCUMENTS		JOB No. 74217		SHEET No. C-3	
				HARRISBURG, PENNSYLVANIA		PFAS TREATMENT FACILITY		CIVIL EXISTING CONDITIONS PLAN		DATE MARCH 2024			
DESIGNED J.L.G.				CADD J.L.G.		SCALE AS NOTED							
CHECKED T.J.G.				APPROVED S.Z.L.		APPROVED							
No.				DESCRIPTION				DATE		BY			
				REVISIONS									

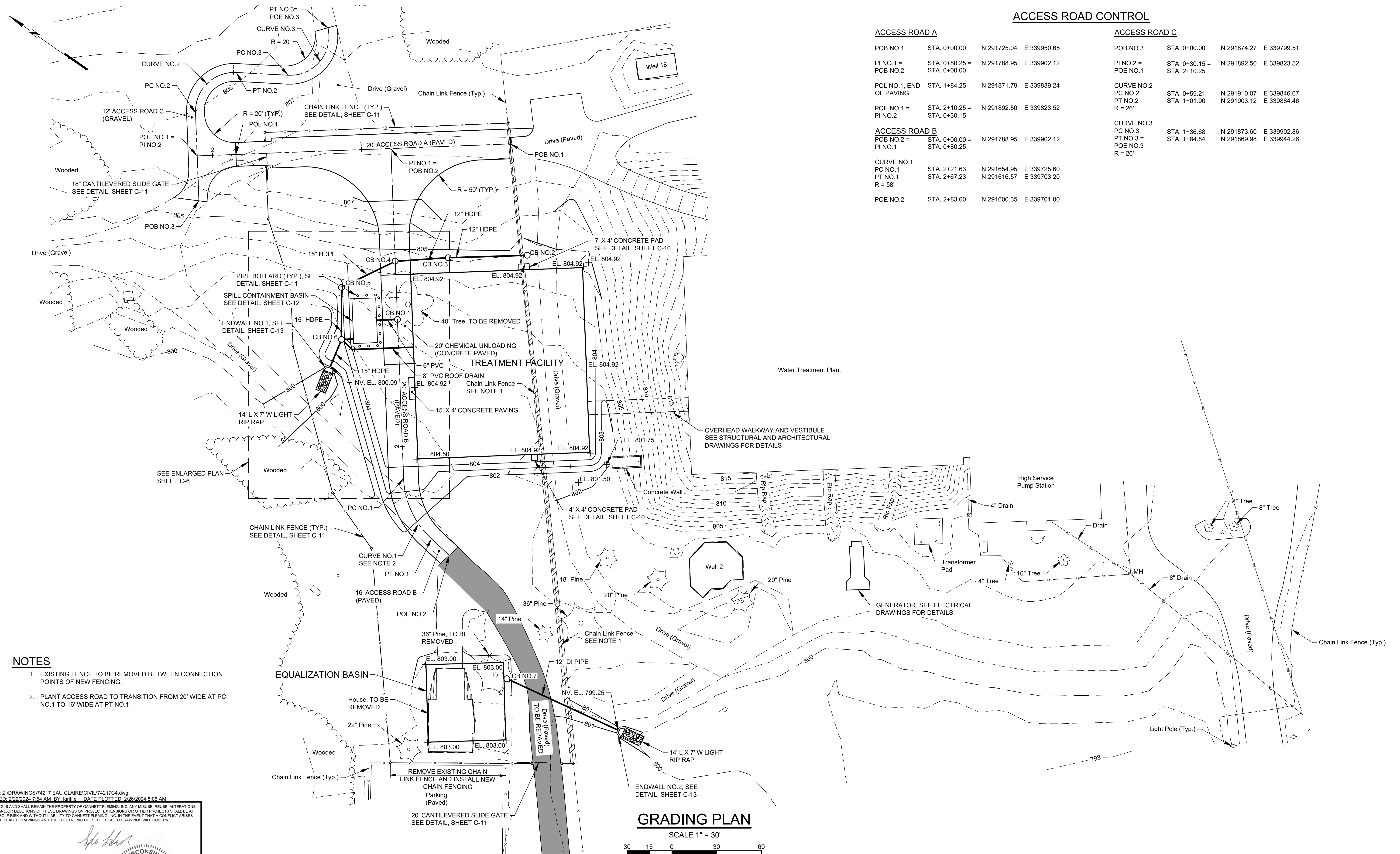
ACCESS ROAD CONTROL

ACCESS ROAD A

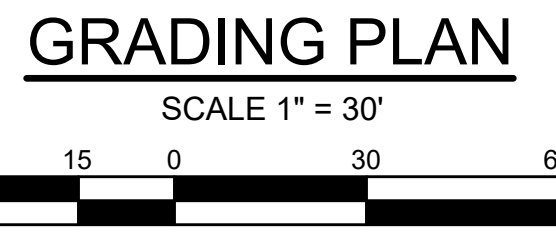
POB NO.1	STA. 0+00.00	N 291725.04	E 339950.65
PI NO.1 = POB NO.2	STA. 0+80.25 = STA. 0+00.00	N 291788.95	E 339902.12
POL NO.1. END OF PAVING	STA. 1+84.25	N 291871.79	E 339839.24
POE NO.1 = PI NO.2	STA. 2+10.25 = STA. 0+30.15	N 291892.50	E 339823.52
ACCESS ROAD B			
POB NO.2 = PI NO.1	STA. 0+00.00 = STA. 0+80.25	N 291788.95	E 339902.12
CURVE NO.1	STA. 2+21.63	N 291654.95	E 339725.60
PC NO.1	STA. 2+67.23	N 291616.57	E 339703.20
PT NO.1			
R = 58'			
POE NO.2	STA. 2+83.60	N 291600.35	E 339701.00

ACCESS ROAD C

POB NO.3	STA. 0+00.00	N 291874.27	E 339799.51
PI NO.2 = POE NO.1	STA. 0+30.15 = STA. 2+10.25	N 291892.50	E 339823.52
CURVE NO.2			
PC NO.2	STA. 0+59.21	N 291910.07	E 339846.67
PT NO.2	STA. 1+01.90	N 291903.12	E 339884.46
R = 26'			
CURVE NO.3			
PC NO.3	STA. 1+36.68	N 291873.60	E 339902.86
PT NO.3 = POE NO.3	STA. 1+84.84	N 291869.98	E 339944.26
R = 26'			



- NOTES**
- EXISTING FENCE TO BE REMOVED BETWEEN CONNECTION POINTS OF NEW FENCING.
 - PLANT ACCESS ROAD TO TRANSITION FROM 20' WIDE AT PC NO.1 TO 16' WIDE AT PT NO.1.



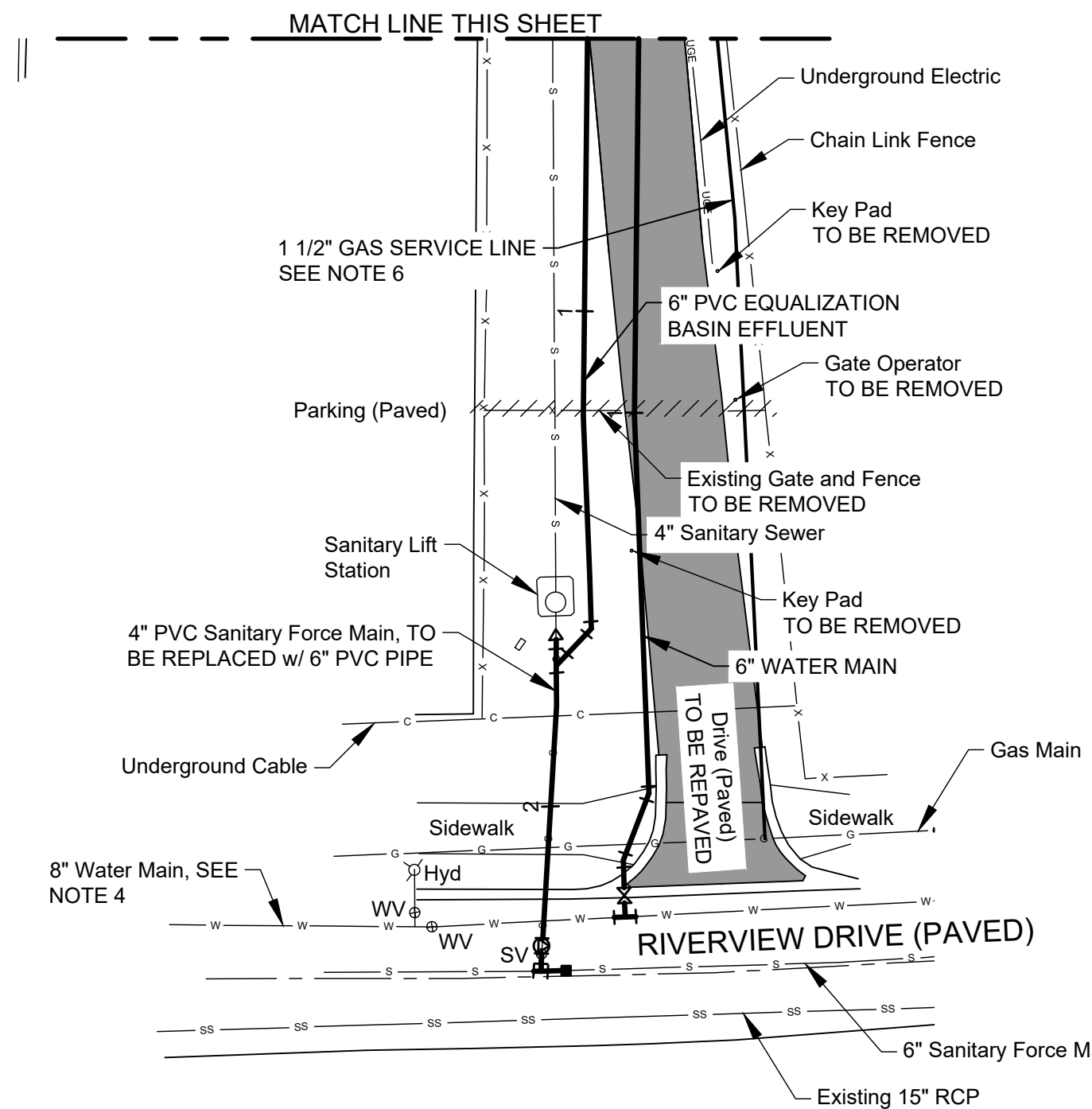
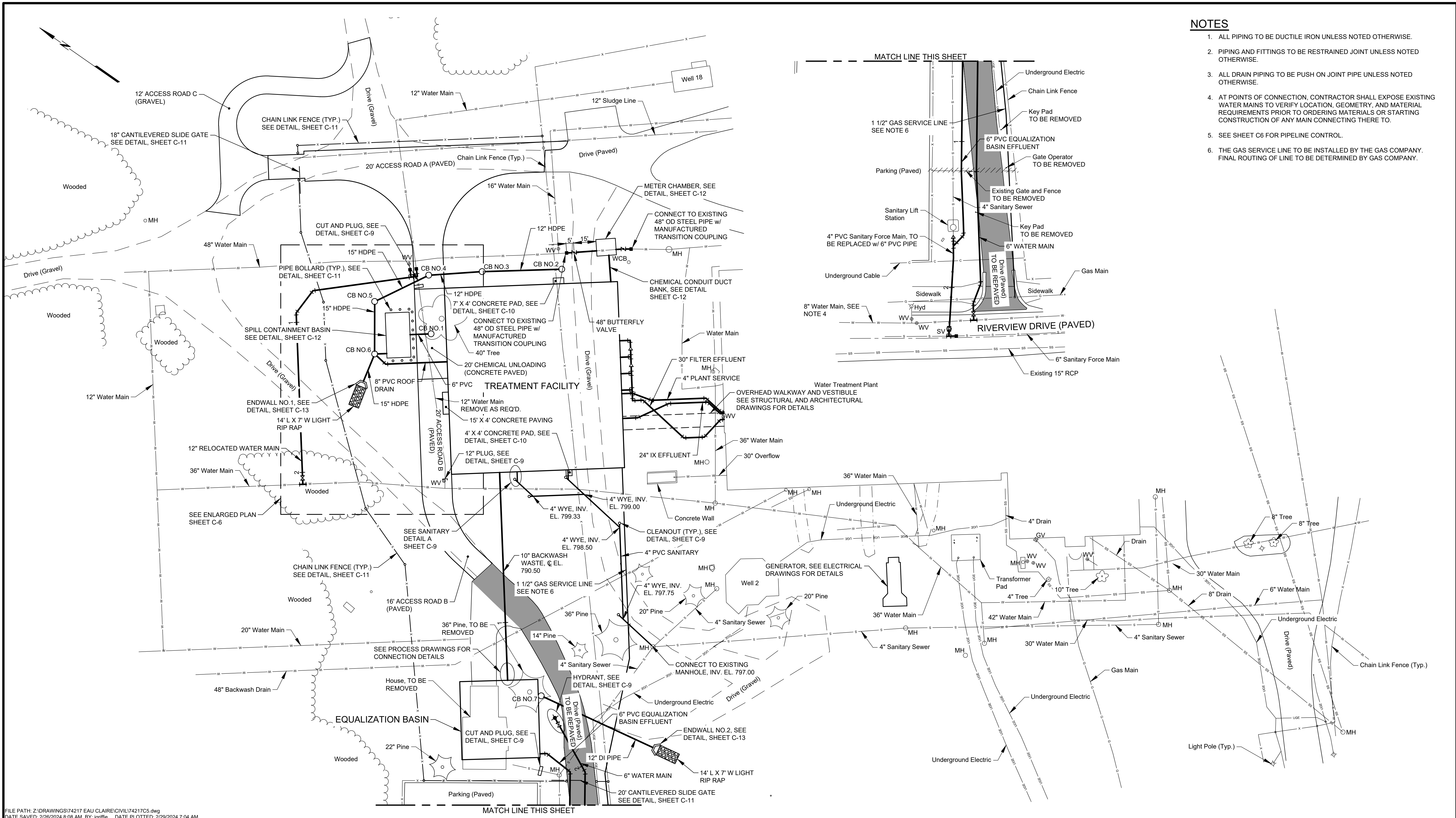
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				DESIGNED J.L.G.		CADD J.L.G.		SCALE AS NOTED		CITY OF EAU CLAIRE EAU CLAIRE, WISCONSIN		JOB No. 74217		SHEET No. C-4	
				CHECKED T.J.G.		APPROVED S.Z.L.		APPROVED		PFAS TREATMENT FACILITY		DATE MARCH 2024			
No. DESCRIPTION DATE BY				REVISIONS						CIVIL GRADING PLAN					





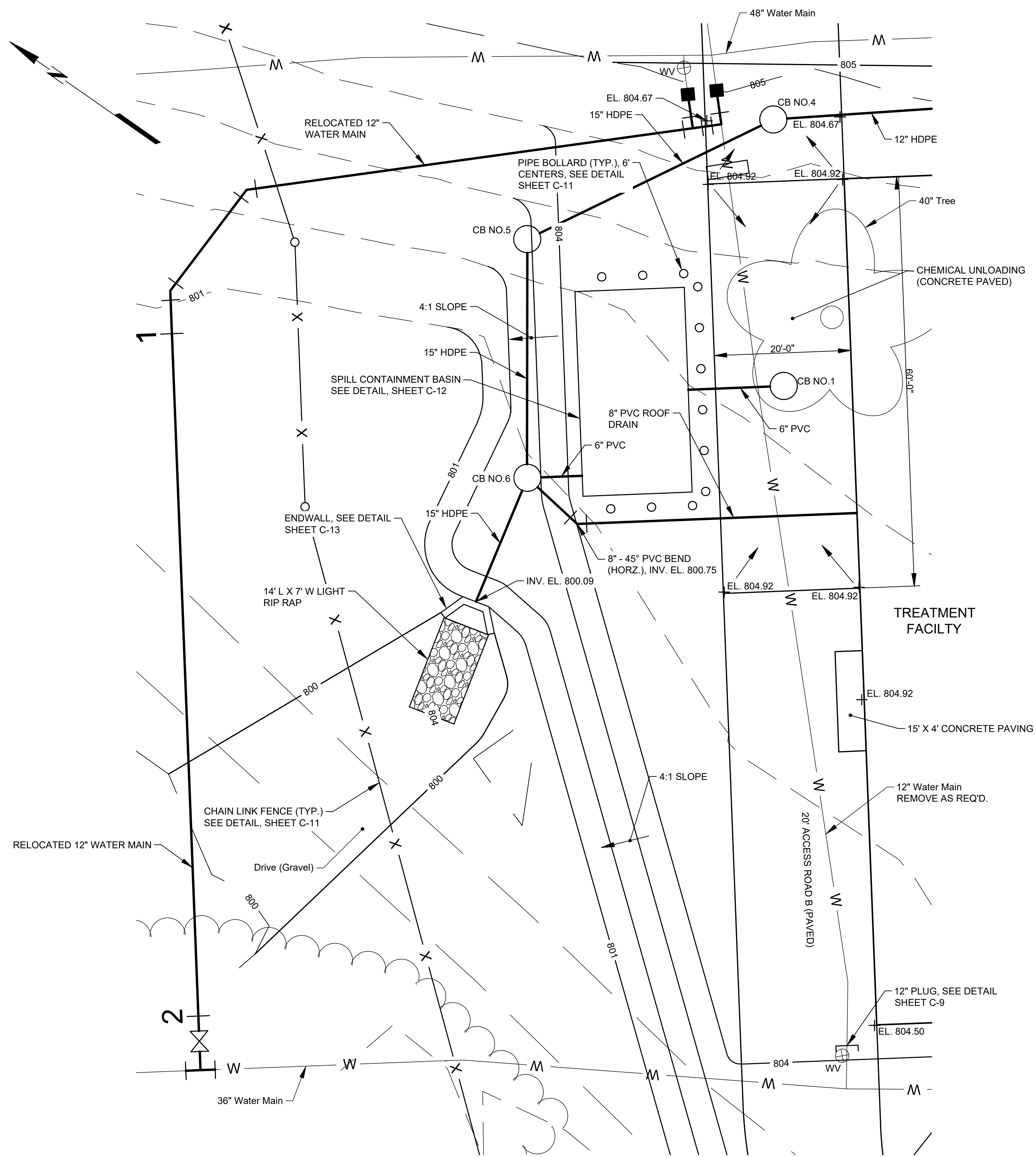
- NOTES**
1. ALL PIPING TO BE DUCTILE IRON UNLESS NOTED OTHERWISE.
 2. PIPING AND FITTINGS TO BE RESTRAINED JOINT UNLESS NOTED OTHERWISE.
 3. ALL DRAIN PIPING TO BE PUSH ON JOINT PIPE UNLESS NOTED OTHERWISE.
 4. AT POINTS OF CONNECTION, CONTRACTOR SHALL EXPOSE EXISTING WATER MAINS TO VERIFY LOCATION, GEOMETRY, AND MATERIAL REQUIREMENTS PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION OF ANY MAIN CONNECTING THERE TO.
 5. SEE SHEET C6 FOR PIPELINE CONTROL.
 6. THE GAS SERVICE LINE TO BE INSTALLED BY THE GAS COMPANY. FINAL ROUTING OF LINE TO BE DETERMINED BY GAS COMPANY.

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PIPING PLAN
 SCALE 1" = 30'
 30 15 0 30 60

				DESIGNED J.L.G.	CADD J.L.G.	SCALE AS NOTED	 HARRISBURG, PENNSYLVANIA	CITY OF EAU CLAIRE EAU CLAIRE, WISCONSIN PFAS TREATMENT FACILITY	BID DOCUMENTS CIVIL PIPING PLAN	JOB No. 74217	SHEET No. C-5
No. DESCRIPTION DATE BY REVISIONS				CHECKED T.J.G.	APPROVED S.Z.L.	APPROVED				DATE MARCH 2024	



PIPELINE CONTROL						
NAME	SIZE	FITTING	STATION	NORTHING	EASTING	ELEVATION
RELOCATED WATER MAIN	12"	SOLID SLEEVE	0+00.00	291752.43	339840.51	800.50±, SEE NOTE 4
	12"	90° BEND HORIZ. ROTATE AS REQ'D.	0+05.00	291749.02	339836.85	800.50±, SEE NOTE 4
	12"	TEE	0+09.20	291752.11	339834.00	797.00±, SEE NOTE 4
	12"	SOLID SLEEVE	—	291755.53	339837.63	797.00±, SEE NOTE 4
	12"	45° BEND VERT. ROTATE AS REQ'D.	0+14.20	291755.77	339830.59	792.83
	12"	45° BEND HORIZ. ROTATE AS REQ'D.	0+75.16	291800.44	339789.12	794.02
FILTER EFFLUENT	12"	45° BEND HORIZ. ROTATE AS REQ'D.	0+93.69	291801.13	339770.61	794.02
	36" X 12"	TAPPING SLEEVE AND VALVE	2+07.93	291732.03	339679.64	794.02, SEE NOTE 4
	30"	45° BEND HORIZ. ROTATE AS REQ'D.	0+02.50	291528.94	339874.40	811.89
	30"	45° BEND HORIZ. ROTATE AS REQ'D.	0+18.34	291531.09	339858.70	810.53
	30"	45° BEND HORIZ. ROTATE AS REQ'D.	0+32.00	291541.97	339850.44	802.50
	30"	45° BEND HORIZ. ROTATE AS REQ'D.	0+68.97	291578.59	339855.45	797.58
	30"	90° BEND HORIZ. ROTATE AS REQ'D.	0+75.97	291584.17	339851.22	797.58
	30" X 12"	TEE	0+83.13	291588.51	339856.94	797.58
	30" X 12"	TEE	0+94.13	291595.16	339865.70	797.58
	30" X 24"	REDUCER	0+99.63	291598.47	339870.06	797.58
IX EFFLUENT	24" X 12"	TEE	1+05.13	291601.80	339874.44	797.58
	24" X 12"	REDUCER	1+10.63	291605.11	339878.81	797.58
	12"	90° BEND HORIZ. ROTATE AS REQ'D.	1+16.13	291608.45	339883.20	797.58
	24"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+10.00	291574.77	339843.80	797.70
	24"	11 1/4" BEND VERT. ROTATE AS REQ'D.	0+19.78	291569.83	339852.83	795.75
	24"	22 1/2" BEND VERT. ROTATE AS REQ'D.	0+24.78	291567.31	339856.56	795.75
	24"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+32.62	291563.36	339863.33	798.31
	24"	45° BEND HORIZ. ROTATE AS REQ'D.	0+58.72	291542.57	339879.12	811.14
	24"	45° BEND HORIZ. ROTATE AS REQ'D.	0+70.03	291531.36	339877.58	811.89
	EQUALIZATION BASIN EFFLUENT	6" PVC	45° BEND HORIZ. ROTATE AS REQ'D.	0+04.62	291496.07	339625.98
6" PVC		45° BEND HORIZ. ROTATE AS REQ'D.	0+27.37	291476.36	339624.84	795.25
6" PVC		45° BEND HORIZ. ROTATE AS REQ'D.	1+62.39	291396.84	339512.07	SEE NOTE 6
6" PVC		WYE	1+72.40	291398.29	339502.17	SEE NOTE 6
6" X 4" PVC		REDUCER	—	291401.87	339507.23	SEE NOTE 6
6" PVC		PLUG VALVE	2+27.46	291369.06	339455.47	SEE NOTE 6
6" PVC		TEE	2+32.46	291366.25	339451.26	SEE NOTE 6
6" PVC		COUPLING	—	291362.34	339454.25	SEE NOTE 6
WATER MAIN	8" X 6"	TAPPING SLEEVE AND VALVE	0+00.00	291358.89	339469.52	795.30±
	6"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+11.13	291365.54	339478.45	795.30
	6"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+25.19	291369.00	339492.07	795.33
	6"	POINT ON LINE	1+00.00	291414.20	339551.67	795.33
	6"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	1+95.46	291468.10	339630.48	793.33
	6"	GATE VALVE	2+31.74	291500.74	339648.27	793.33
	6"	HYDRANT, SEE DETAIL, SHEET C-9	2+36.74	291505.24	339648.75	—
	6"	12" PLUG, SEE DETAIL SHEET C-9	—	—	—	—
PLANT SERVICE	4"	45° BEND HORIZ. ROTATE AS REQ'D.	0+01.90	291531.48	339878.74	813.00
	4"	45° BEND HORIZ. ROTATE AS REQ'D.	0+15.56	291545.02	339880.59	810.00
	4"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+50.56	291573.97	339858.61	800.00
	4"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	0+64.00	291586.97	339855.20	795.16
	4"	22 1/2" BEND HORIZ. ROTATE AS REQ'D.	—	—	—	—

- NOTES**
- ALL PIPING TO BE DUCTILE IRON UNLESS NOTED OTHERWISE.
 - PIPING AND FITTINGS TO BE RESTRAINED JOINT UNLESS NOTED OTHERWISE.
 - ALL DRAIN PIPING TO BE PUSH ON JOINT PIPE UNLESS NOTED OTHERWISE.
 - AT POINTS OF CONNECTION, CONTRACTOR SHALL EXPOSE EXISTING WATER MAINS TO VERIFY LOCATION, GEOMETRY, AND MATERIAL REQUIREMENTS PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION OF ANY MAIN CONNECTING THERE TO.
 - SEE THIS SHEET FOR PIPELINE CONTROL.
 - FINAL ELEVATION TO BE DETERMINED BY DEPTH OF EXISTING 4" SANITARY FORCE MAIN TO BE REPLACED WITH 6" PVC PIPE.

ENLARGED PLAN
SCALE 1" = 10'

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DESIGNED	CADD	SCALE
J.L.G.	J.L.G.	AS NOTED
CHECKED	APPROVED	APPROVED
T.J.G.	S.Z.L.	—

GANNETT FLEMING
HARRISBURG, PENNSYLVANIA

CITY OF EAU CLAIRE
EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

CIVIL ENLARGED PLAN AND PIPELINE CONTROL

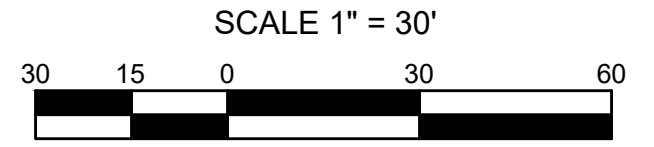
JOB No.	SHEET No.
74217	C-6
DATE	
MARCH 2024	



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Sophia Liskovich
 WISCONSIN
 E-49960
 Baltimore
 MD
 PROFESSIONAL ENGINEER

EROSION AND SEDIMENTATION CONTROL PLAN



No.	DESCRIPTION	DATE	BY

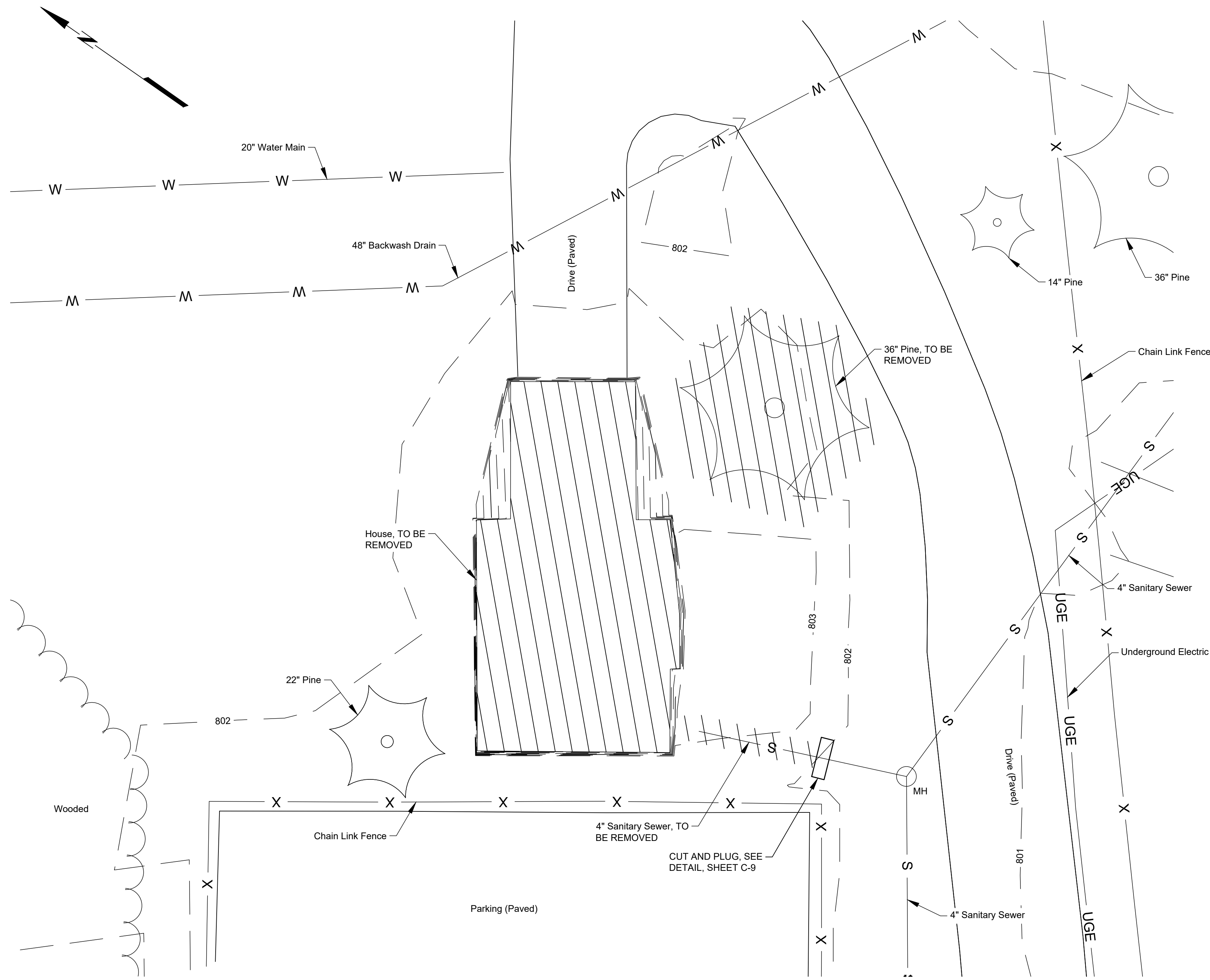
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CHECKED	APPROVED	APPROVED
T.J.G.	S.Z.L.	

GANNETT FLEMING **AVRES**

CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN
WATER TREATMENT FACILITY

BID DOCUMENTS
 CIVIL
EROSION AND SEDIMENTATION CONTROL PLAN

JOB No.	SHEET No.
74217	C-14
DATE	
MARCH 2024	



NOTES:

1. CONTRACTOR SHALL DEMOLISH THE HOUSE AND FOUNDATION.
2. HOUSE WAS FOUND TO HAVE LEAD PAINT AND THEREFORE DEMOLITION AND DISPOSAL SHALL BE CONSIDERED HAZARDOUS AND SHALL FOLLOW REQUIRED OSHA GUIDELINES.
3. LAB RESULTS AND OVERALL INSPECTION REPORT FOR THIS HOUSE IS LOCATED IN THE APPENDIX OF THE SPECIFICATIONS.
4. CONTRACTOR SHALL BE CAREFUL TO KEEP AS MANY STONES FROM THE HOUSE IN TACK AS POSSIBLE. STONES FROM THE DEMOLITION OF THE HOME SHALL BE STOCKPILED AND PROVIDED TO THE OWNER FOR THEIR USE. SOME OF THE STONES SHALL BE USED FOR THE COVER OF THE EQUALIZATION DOGHOUSE AND SHOWN ON THE ARCHITECTURAL DRAWINGS.

DEMOLITION PLAN

SCALE 1" = 10'



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Sophia Liskovich
 WISCONSIN
 Sophia Liskovich
 E-49960
 Baltimore
 MD
 PROFESSIONAL ENGINEER

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T.J.G.	S.Z.L.	—

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 HARRISBURG, PENNSYLVANIA

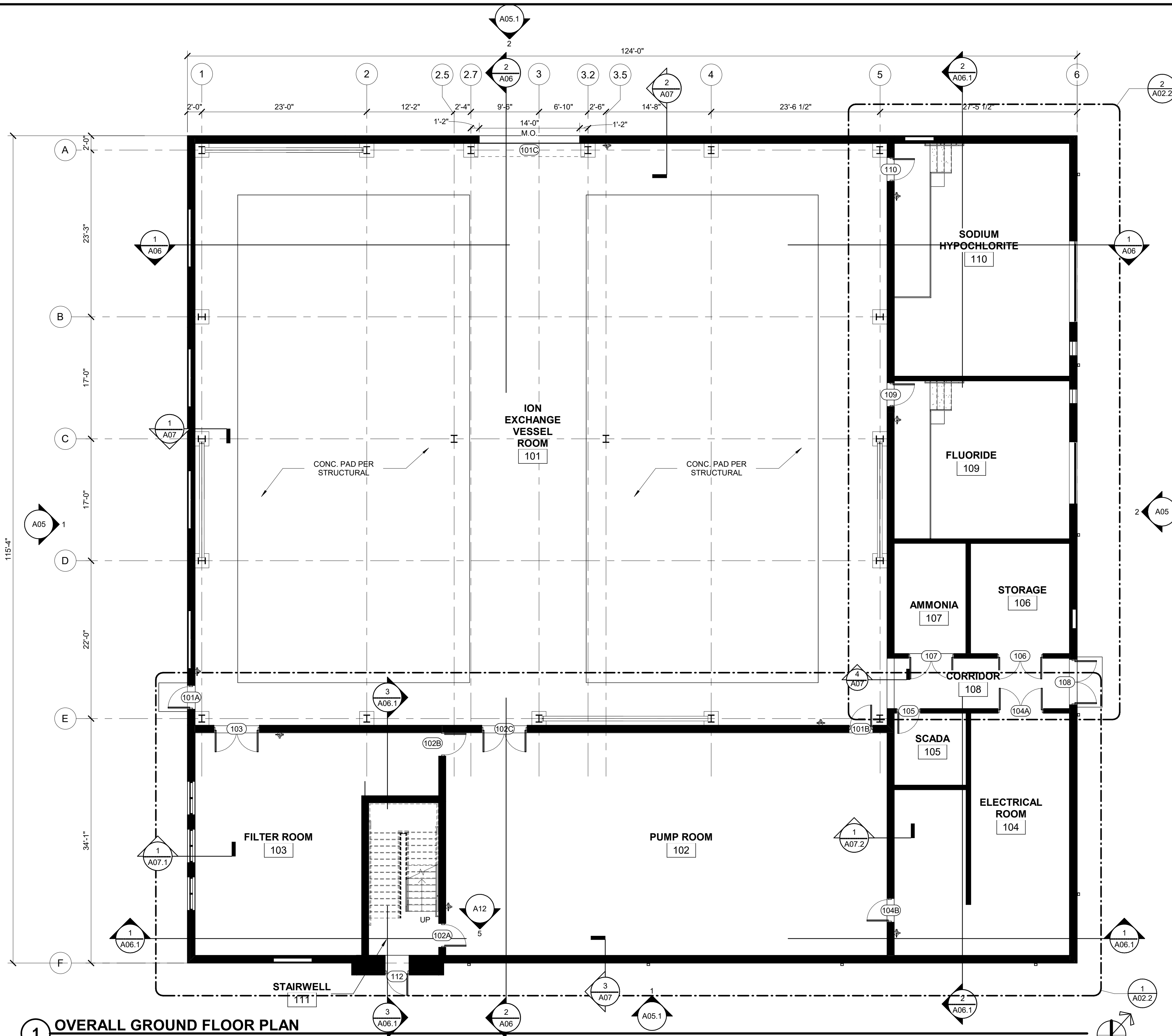
CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN

PFAS TREATMENT FACILITY

BID DOCUMENTS

 DEMOLITION
 DEMOLITION PLAN

JOB No.	SHEET No.
74217	D-1
DATE	
MARCH 2024	



SCHEDULE OF THROUGH-PENETRATION FIRESTOP SYSTEMS

FIRESTOP SYSTEMS ARE LISTED USING THE ALPHA-ALPHA-NUMERICAL IDENTIFICATION SYSTEM PUBLISHED IN THE UL FIRE RESISTANCE DIRECTORY, VOLUME IIA & IIB, CURRENT EDITION.

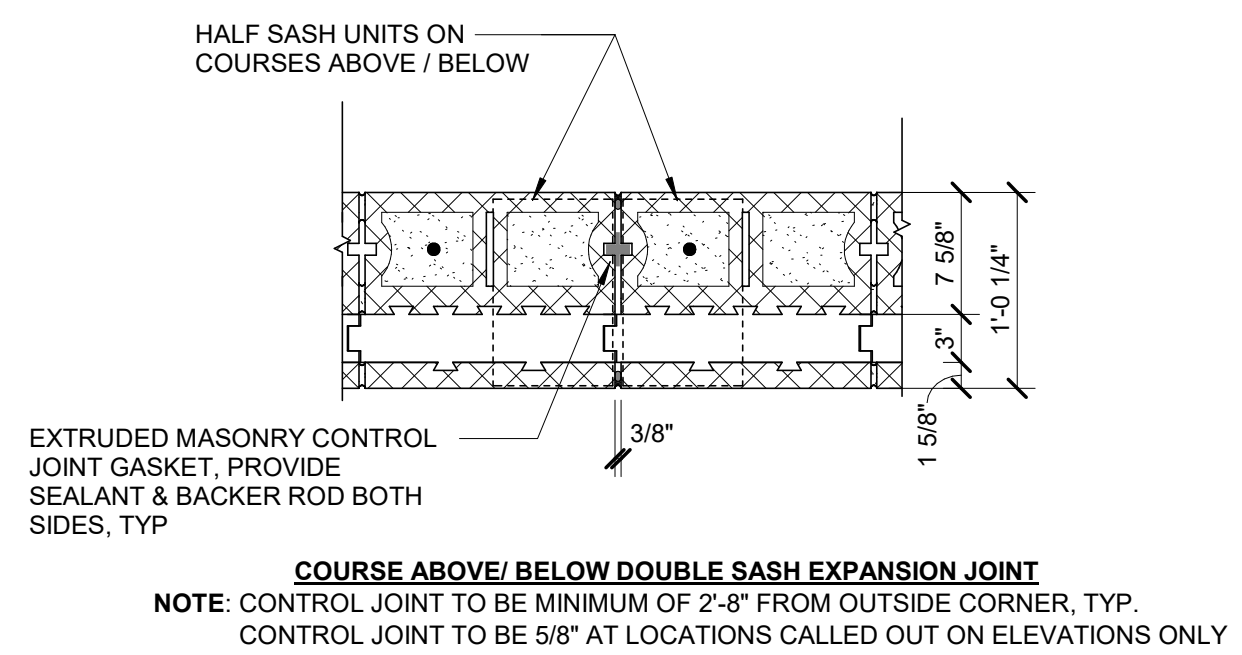
CONSTRUCTION	ACCEPTABLE SYSTEMS FOR FLOOR PENETRATIONS (FIRST ALPHA COMPONENT= C OR F)		ACCEPTABLE SYSTEMS FOR WALL PENETRATIONS (FIRST ALPHA COMPONENT= C OR W)		
	CONCRETE FLOORS WITH A MIN. THICKNESS LESS THAN OR EQUAL TO 5 IN.	CONCRETE FLOORS WITH A MIN. THICKNESS GREATER THAN 5 IN.	CONCRETE OR MASONRY WALLS WITH A MIN. THICKNESS LESS THAN OR EQUAL TO 8 IN.	CONCRETE OR MASONRY WALLS WITH A MIN. THICKNESS GREATER THAN 8 IN.	FRAMED WALLS (VARYING THICKNESS)
NO PENETRATING ITEMS	F-A-0000 - 0999 OR C-A*-0000 - 0999	F-B-0000 - 0999 OR C-B*-0000 - 0999	W-J-0000 - 0999 OR C-J-0000 - 0999	N/A	W-L-0000 - 0999 OR C-L-0000 - 0999
METALLIC PIPE, CONDUIT, OR TUBING	F-A-1000 - 1999 OR C-A*-1000 - 1999	F-B-1000 - 1999 OR C-B*-1000 - 1999	W-J-1000 - 1999 OR C-J-1000 - 1999	W-K-1000 - 1999 OR C-K-1000 - 1999	W-L-1000 - 1999 OR C-L-1000 - 1999
NONMETALLIC PIPE, CONDUIT, OR TUBING	F-A-2000 - 2999 OR C-A*-2000 - 2999	F-B-2000 - 2999 OR C-B*-2000 - 2999	W-J-2000 - 2999 OR C-J-2000 - 2999	N/A	W-L-2000 - 2999 OR C-L-2000 - 2999
ELECTRICAL CABLES	F-A-3000 - 3999 OR C-A*-3000 - 3999	F-B-3000 - 3999 OR C-B*-3000 - 3999	W-J-3000 - 3999 OR C-J-3000 - 3999	N/A	W-L-3000 - 3999 OR C-L-3000 - 3999
CABLE TRAYS WITH ELECTRICAL CABLES	F-A-4000 - 4999 OR C-A*-4000 - 4999	F-B-4000 - 4999 OR C-B*-4000 - 4999	W-J-4000 - 4999 OR C-J-4000 - 4999	W-K-4000 - 4999 OR C-K-4000 - 4999	W-L-4000 - 4999 OR C-L-4000 - 4999
INSULATED PIPES	F-A-5000 - 5999 OR C-A*-5000 - 5999	F-B-5000 - 5999 OR C-B*-5000 - 5999	W-J-5000 - 5999 OR C-J-5000 - 5999	N/A	W-L-5000 - 5999 OR C-L-5000 - 5999
MISCELLANEOUS ELECTRICAL PENETRANTS	F-A-6000 - 6999 OR C-A*-6000 - 6999	N/A	W-J-6000 - 6999 OR C-J-6000 - 6999	N/A	W-L-6000 - 6999 OR C-L-6000 - 6999
MISCELLANEOUS MECHANICAL PENETRANTS	F-A-7000 - 7999 OR C-A*-7000 - 7999	N/A	W-J-7000 - 7999 OR C-J-7000 - 7999	N/A	W-L-7000 - 7999 OR C-L-7000 - 7999
GROUPINGS OF PENETRATIONS	F-A-8000 - 8999 OR C-A*-8000 - 8999	F-B-8000 - 8999 OR C-B*-8000 - 8999	W-J-8000 - 8999 OR C-J-8000 - 8999	N/A	W-L-8000 - 8999 OR C-L-8000 - 8999

NOTES:

- FOR EACH LOCATION WHERE A FIRE BARRIER (FIRE RESISTANCE RATED FLOOR OR WALL CONSTRUCTION) IS PENETRATED, PROVIDE A UL-LISTED THROUGH-PENETRATION FIRESTOP ASSEMBLY IN ACCORDANCE WITH THIS SCHEDULE.
- ACTUAL UL LISTING FOR C-SERIES SYSTEMS CONTAIN AN ADDITIONAL ALPHA CHARACTER IDENTIFIED BY AN ASTERISK ON THIS SCHEDULE.

NUMBERING SYSTEM:

MAIN FIRE BARRIER IDENTIFICATION → C-A * -001
 SECONDARY FIRE BARRIER IDENTIFICATION(S)
 PENETRANT IDENTIFICATION



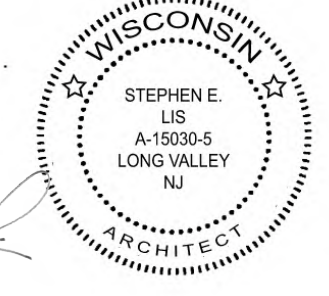
2 TYP. WALL/ CONTROL JOINT DETAIL- ICMS WALL CONSTRUCTION
 SCALE: 1" = 1'-0"

FLOOR PLAN NOTES

- MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- DIMENSIONS AT CMU WALLS ARE TO THE FACE OF CMU UNLESS NOTED OTHERWISE.
- DIMENSIONS AT INTERIOR STUD WALLS ARE TO THE CENTERLINE OF STUD UNLESS NOTED OTHERWISE.
- DIMENSIONS AT EXTERIOR STUD WALLS ARE TO THE INSIDE FACE OF STUD UNLESS NOTED OTHERWISE.
- DIMENSIONS FOLLOWED BY AN ASTERISK (*) ARE TO THE FACE OF STUD ON ONE OR BOTH SIDES.
- PROVIDE LINTELS FOR OPENINGS IN MASONRY WALLS INCLUDING BUT NOT LIMITED TO OPENINGS FOR DOORS, WINDOWS, LOUVERS, AND MECHANICAL AND ELECTRICAL PENETRATIONS.
- ARCHITECTURAL DRAWINGS SHOW FLOOR DRAINS, TRENCH DRAINS, AND FLOOR HATCHES IN FINISHED FLOOR AREAS ONLY. REFER TO STRUCTURAL AND PLUMBING DRAWINGS FOR FLOOR DRAINS, TRENCH DRAINS, AND FLOOR HATCHES IN NON-FINISHED FLOOR AREAS.
- THE INSIDE EDGE OF DOOR FRAMES SHALL BE SET 6" CLEAR FROM THE FINISH FACE OF THE ADJACENT PERPENDICULAR PARTITION UNLESS OTHERWISE DIMENSIONED.
- SEE CIVIL DRAWINGS FOR FINISHED FLOOR ELEVATIONS.
- PROVIDE SUFFICIENT BLOCKING INSIDE THE WALLS FOR INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PROJECTOR BRACKETS, PROJECTION SCREENS, MARKER BOARDS, TACK BOARDS, CHALK BOARDS, TELEVISION BRACKETS, AND ALL OTHER WALL MOUNTED EQUIPMENT.
- SEE CIVIL DRAWINGS FOR CONCRETE PADS AND BOLLARD LOCATIONS AT EXTERIOR DOORS.

1 OVERALL GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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STEPHEN E. LIS, AIA
 WISCONSIN PROFESSIONAL ARCHITECT NO. A-15030-5
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GANNETT FLEMING
 EAST BRUNSWICK, NEW JERSEY

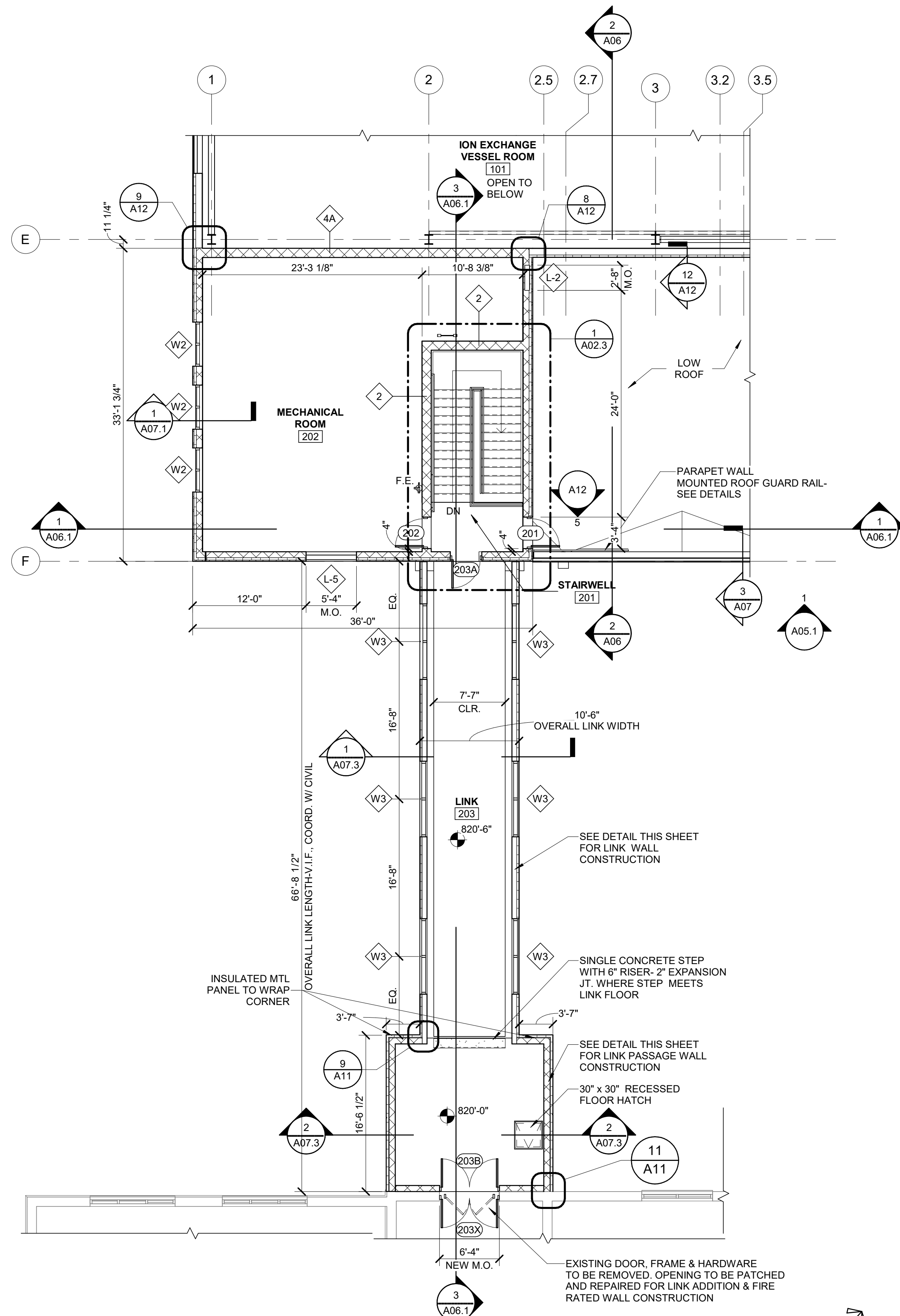
CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

BID DOCUMENTS

ARCHITECTURAL
GROUND FLOOR OVERALL PLAN

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074217	A02
DATE:	
MARCH 2024	

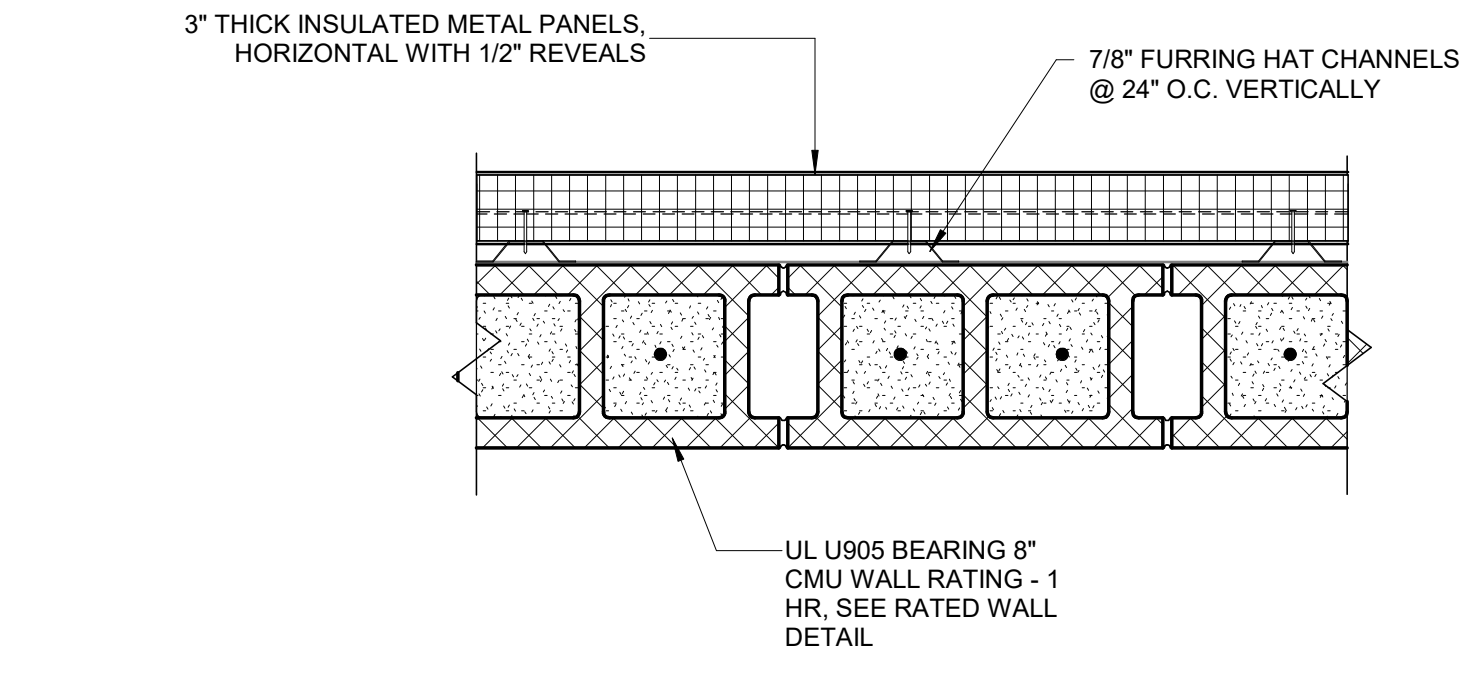
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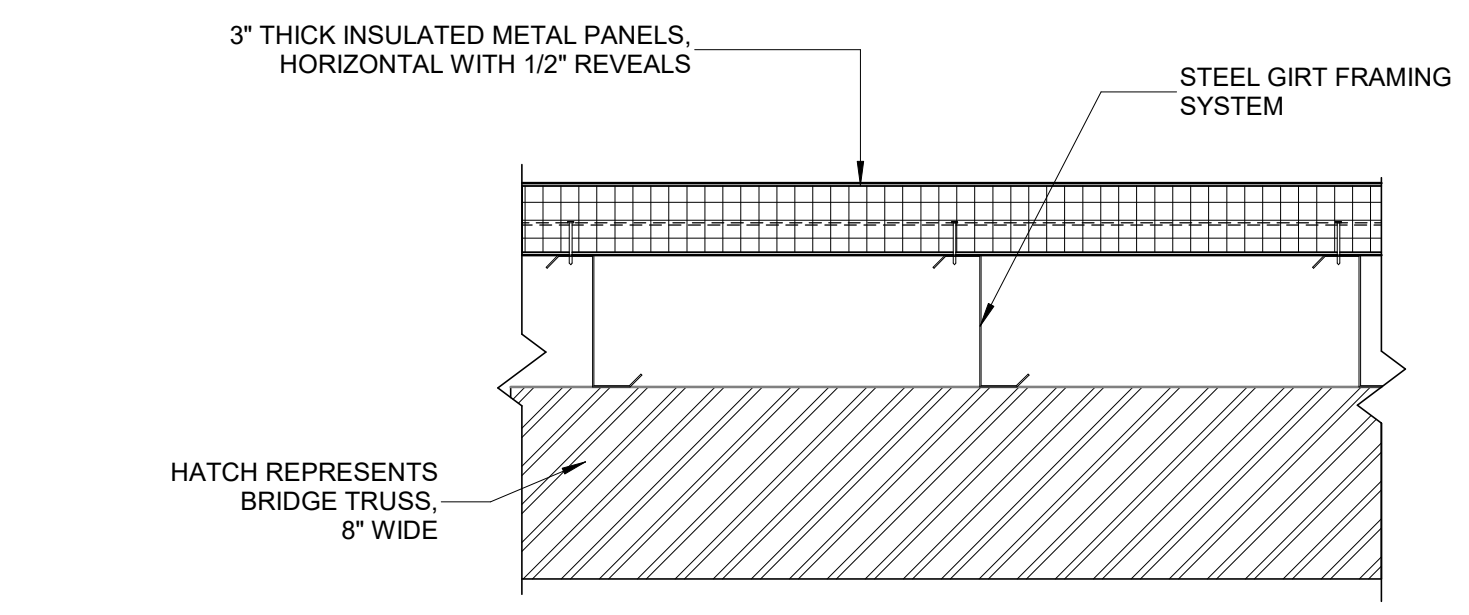
1 SECOND FLOOR AND LINK PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

- 1 MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- 2 DIMENSIONS AT CMU WALLS ARE TO THE FACE OF CMU UNLESS NOTED OTHERWISE.
- 3 DIMENSIONS AT INTERIOR STUD WALLS ARE TO THE CENTERLINE OF STUD UNLESS NOTED OTHERWISE.
- 4 DIMENSIONS AT EXTERIOR STUD WALLS ARE TO THE INSIDE FACE OF STUD UNLESS NOTED OTHERWISE.
- 5 DIMENSIONS FOLLOWED BY AN ASTERISK (*) ARE TO THE FACE OF STUD ON ONE OR BOTH SIDES.
- 6 PROVIDE LINTELS FOR OPENINGS IN MASONRY WALLS INCLUDING BUT NOT LIMITED TO OPENINGS FOR DOORS, WINDOWS, LOUVERS, AND MECHANICAL AND ELECTRICAL PENETRATIONS.
- 7 ARCHITECTURAL DRAWINGS SHOW FLOOR DRAINS, TRENCH DRAINS, AND FLOOR HATCHES IN FINISHED FLOOR AREAS ONLY. REFER TO STRUCTURAL AND PLUMBING DRAWINGS FOR FLOOR DRAINS, TRENCH DRAINS, AND FLOOR HATCHES IN NON-FINISHED FLOOR AREAS.
- 8 THE INSIDE EDGE OF DOOR FRAMES SHALL BE SET 6" CLEAR FROM THE FINISH FACE OF THE ADJACENT PERPENDICULAR PARTITION UNLESS OTHERWISE DIMENSIONED.
- 9 SEE CIVIL DRAWINGS FOR FINISHED FLOOR ELEVATIONS.
- 10 PROVIDE SUFFICIENT BLOCKING INSIDE THE WALLS FOR INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PROJECTOR BRACKETS, PROJECTION SCREENS, MARKER BOARDS, TACK BOARDS, CHALK BOARDS, TELEVISION BRACKETS, AND ALL OTHER WALL MOUNTED EQUIPMENT.
- 11 SEE CIVIL DRAWINGS FOR CONCRETE PADS AND BOLLARD LOCATIONS AT EXTERIOR DOORS.

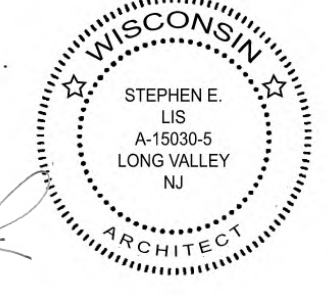


2 LINK PASSAGE AREA TYP. WALL CONSTRUCTION
SCALE: 1 1/2" = 1'-0"



3 LINK TYP. WALL CONSTRUCTION
SCALE: 1 1/2" = 1'-0"

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STEPHEN E. LIS, AIA
WISCONSIN PROFESSIONAL ARCHITECT NO. A-15030-5
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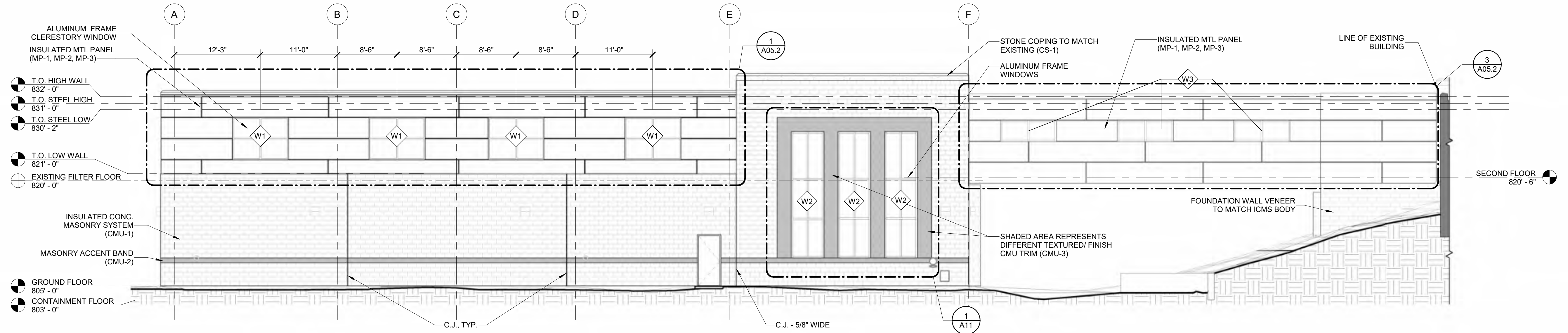
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EAU CLAIRE, WISCONSIN
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ARCHITECTURAL SECOND FLOOR AND LINK PLAN		DATE: MARCH 2024	

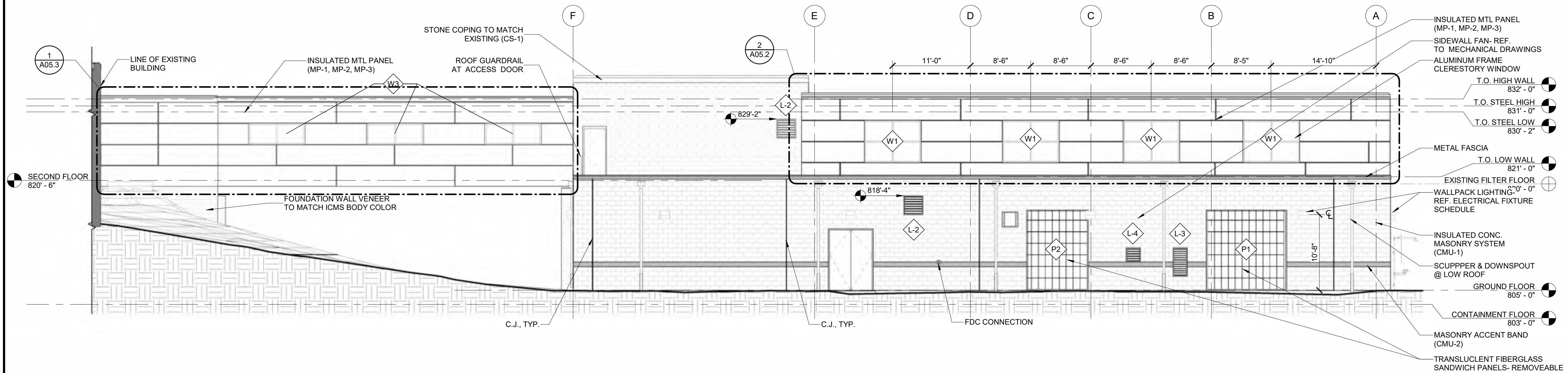
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1 ELEVATION-WEST
SCALE: 1/8" = 1'-0"



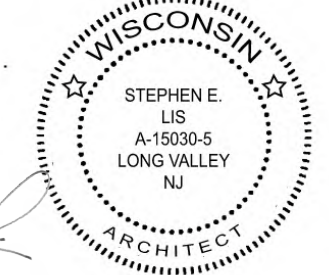
2 ELEVATION-EAST
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
CMU-1	ICMS BODY COLOR
CMU-2	ICMS ACCENT BAND
CMU-3	ICMS ACCENT COLOR
CS-1	CAST STONE- COPING
MP1	METAL PANEL COLOR 1
MP2	METAL PANEL COLOR 2
MP3	METAL PANEL COLOR 3

ELEVATION NOTES

- MATTE FACE MASONRY SHALL BE USED AT ALL WALL MOUNTED LIGHT FIXTURES, COPINGS, AND OTHER WALL MOUNTED EQUIPMENT. COLOR TO MATCH ADJACENT MASONRY.
- ENSURE SIZE AND LOCATIONS OF MASONRY WALL OPENINGS ARE COORDINATED WITH THE INSULATED CONCRETE FORMS.
- ALL GUTTERS AND DOWNSPOUTS TO MATCH FASCIA COLORS.
- SEE SCHEDULE ON THIS SHEET FOR LIST OF FINISH TYPES/ COLORS.

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WISCONSIN PROFESSIONAL ARCHITECT NO. A-15030-5
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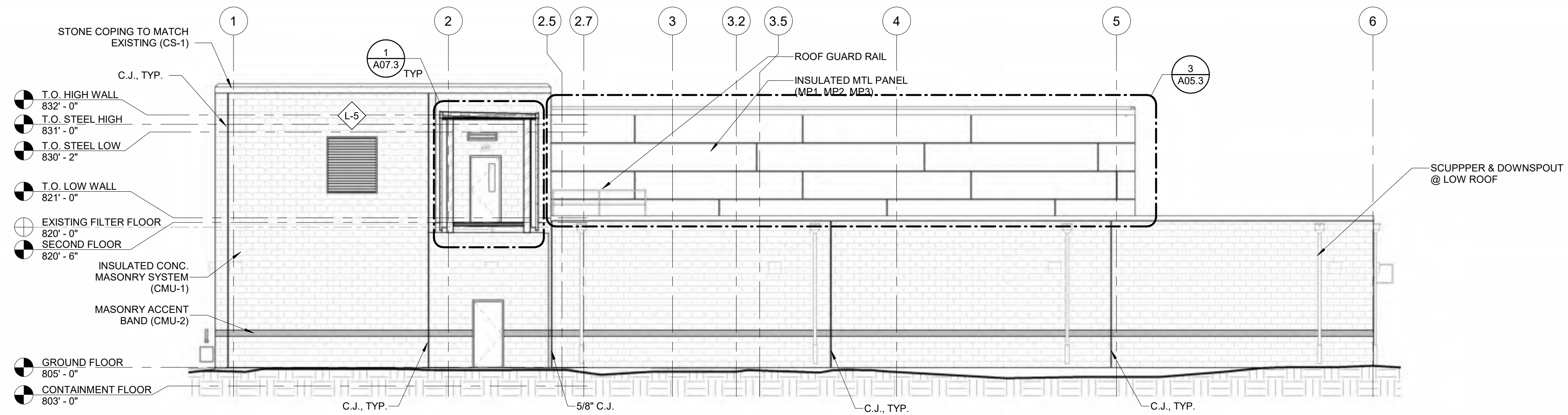
CITY OF EAU CLAIRE
EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

BID DOCUMENTS

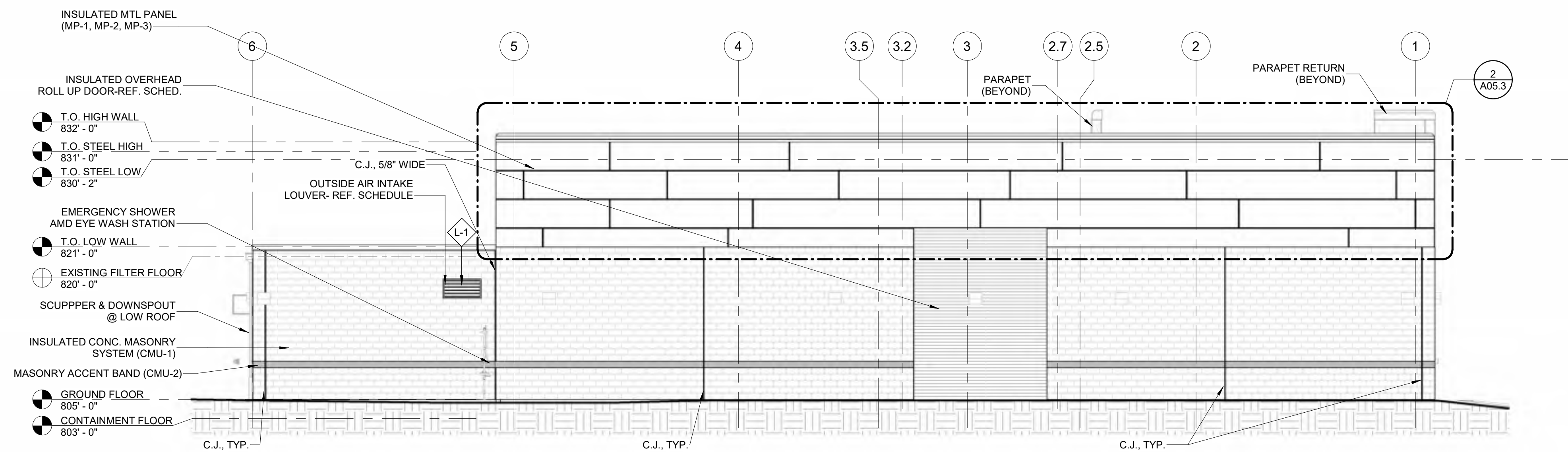
ARCHITECTURAL
ELEVATIONS 1

JOB No.
074217
DATE:
MARCH 2024

SHEET No.
A05



1 ELEVATION- SOUTH
SCALE: 1/8" = 1'-0"



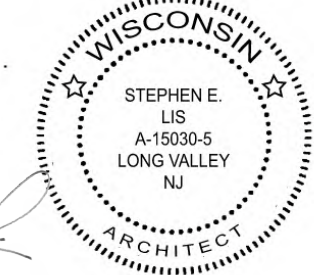
2 ELEVATION- NORTH
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
CMU-1	ICMS BODY COLOR
CMU-2	ICMS ACCENT BAND
CMU-3	ICMS ACCENT COLOR
CS-1	CAST STONE- COPING
MP1	METAL PANEL COLOR 1
MP2	METAL PANEL COLOR 2
MP3	METAL PANEL COLOR 3

ELEVATION NOTES

- MATTE FACE MASONRY SHALL BE USED AT ALL WALL MOUNTED LIGHT FIXTURES, COPINGS, AND OTHER WALL MOUNTED EQUIPMENT. COLOR TO MATCH ADJACENT MASONRY.
- ENSURE SIZE AND LOCATIONS OF MASONRY WALL OPENINGS ARE COORDINATED WITH THE INSULATED CONCRETE FORMS.
- ALL GUTTERS AND DOWNSPOUTS TO MATCH FASCIA COLORS.
- SEE SCHEDULE ON THIS SHEET FOR LIST OF FINISH TYPES/ COLORS.

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WISCONSIN PROFESSIONAL ARCHITECT NO. A-15030-5

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REVISIONS			

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CHECKED:	APPROVED:	APPROVED:
ATB	SEL	



EAST BRUNSWICK, NEW JERSEY

CITY OF EAU CLAIRE
EAU CLAIRE, WISCONSIN

PFAS TREATMENT FACILITY

BID DOCUMENTS

ARCHITECTURAL
ELEVATIONS 2

JOB No.

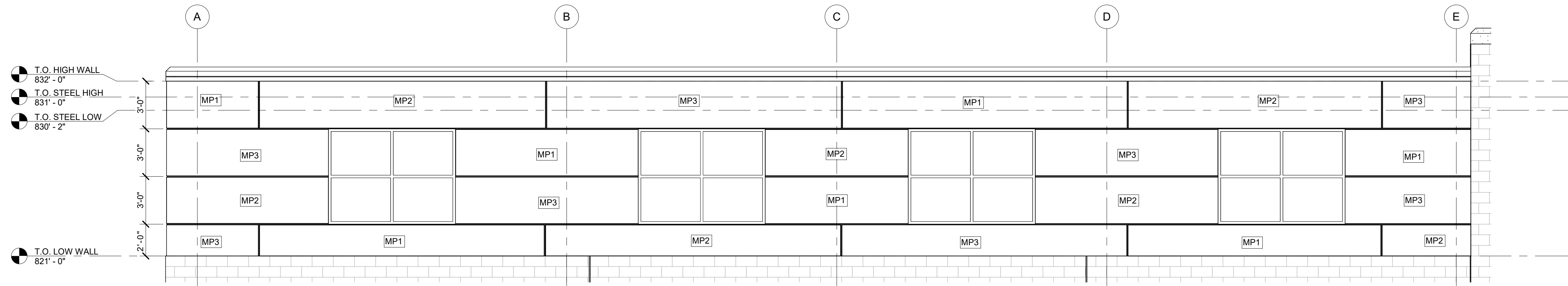
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DATE:

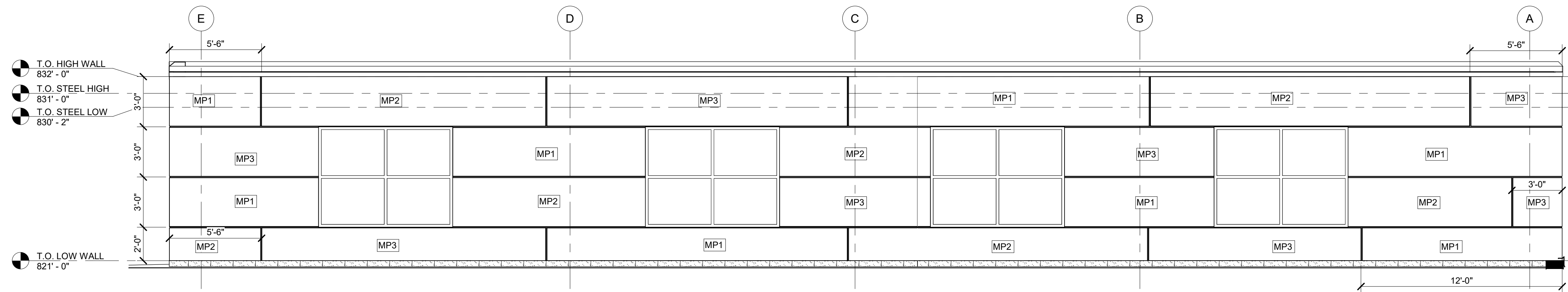
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SHEET No.

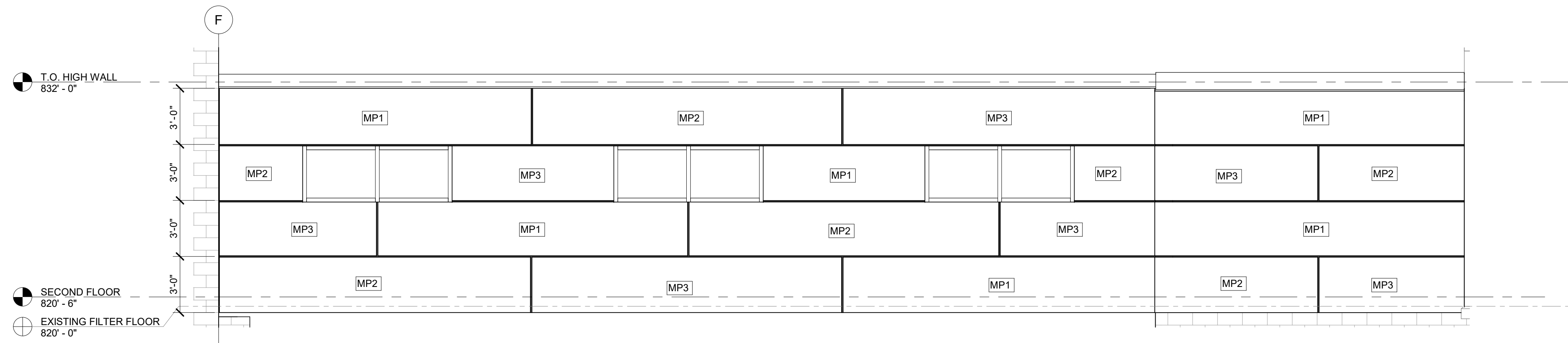
A05.1



1 WEST ELEVATION METAL PANEL DETAIL
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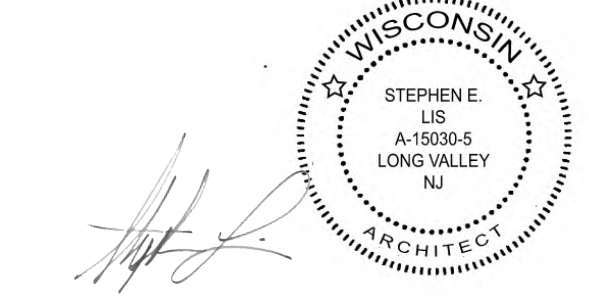
2 EAST ELEVATION METAL PANEL DETAIL
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3 WEST ELEVATION METAL PANEL DETAIL-LINK
SCALE: 1/4" = 1'-0"

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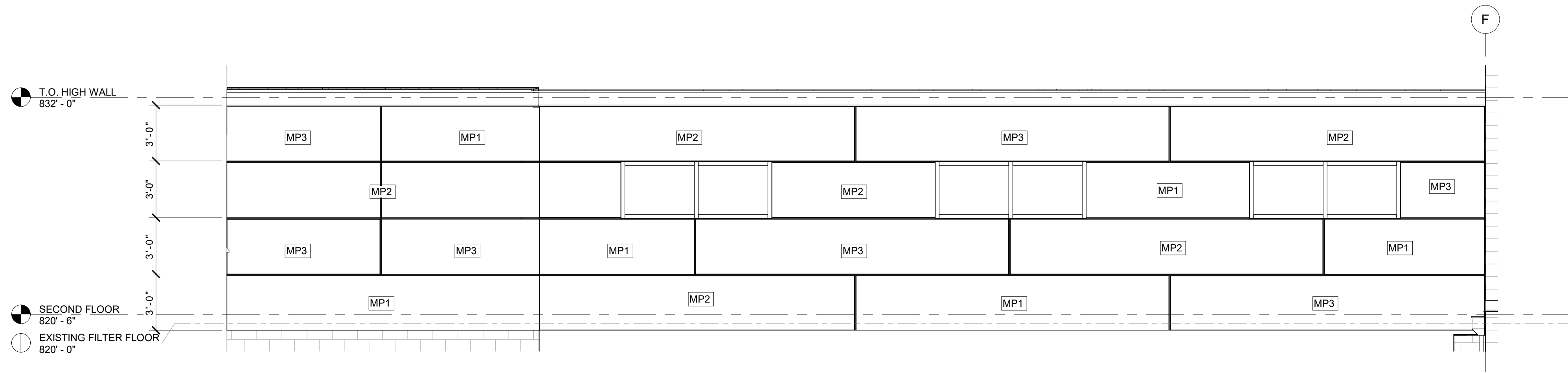
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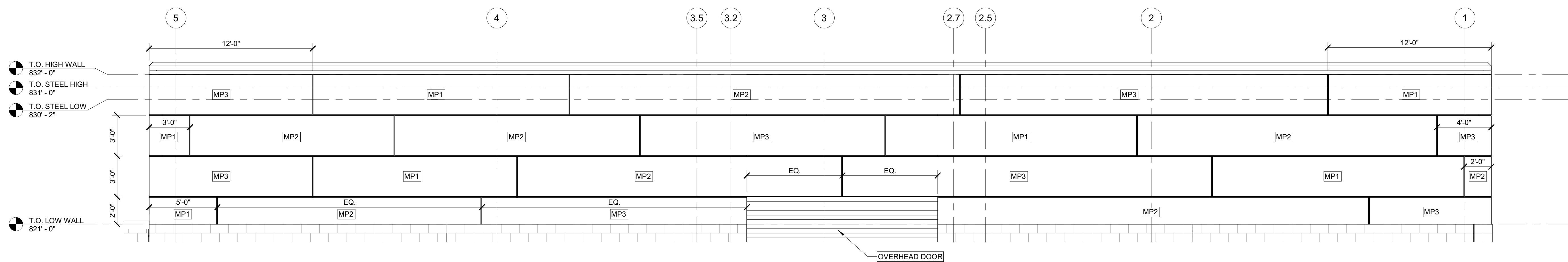

GANNETT FLEMING
 EAST BRUNSWICK, NEW JERSEY

CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

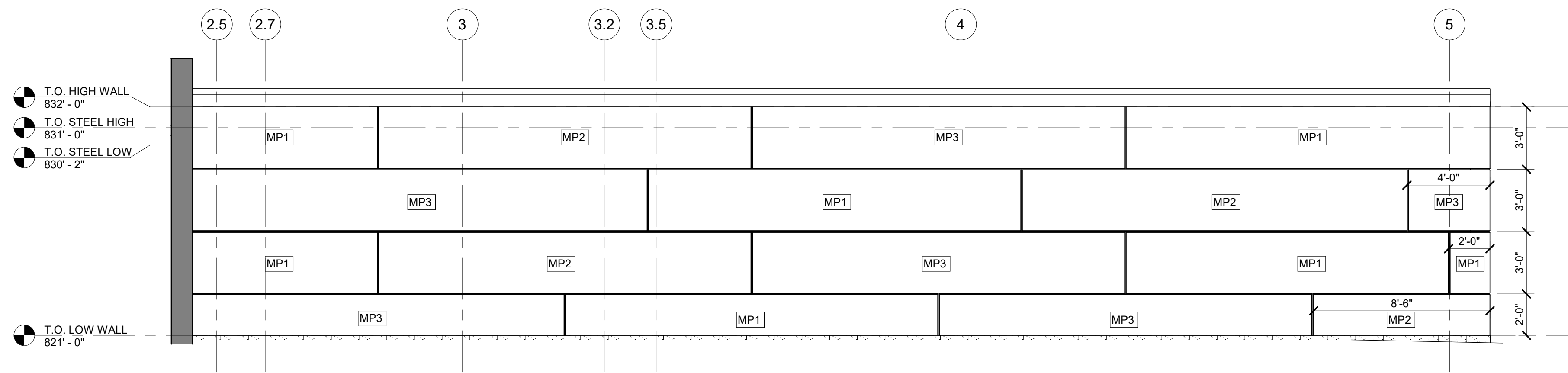
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ARCHITECTURAL EXTERIOR METAL PANELING DETAILING 1		DATE: MARCH 2024	



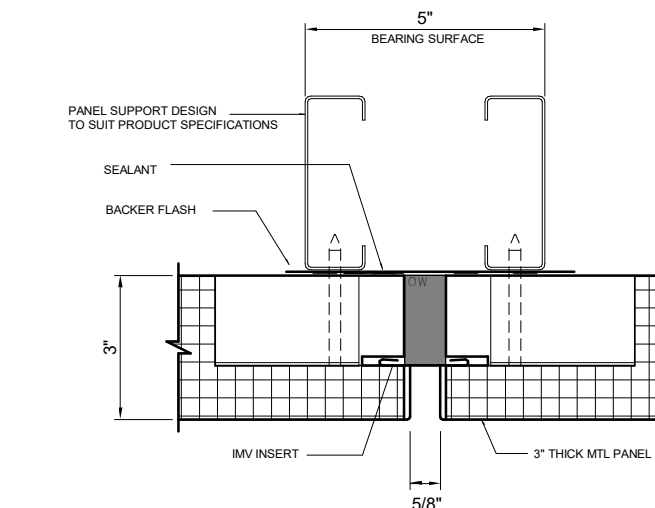
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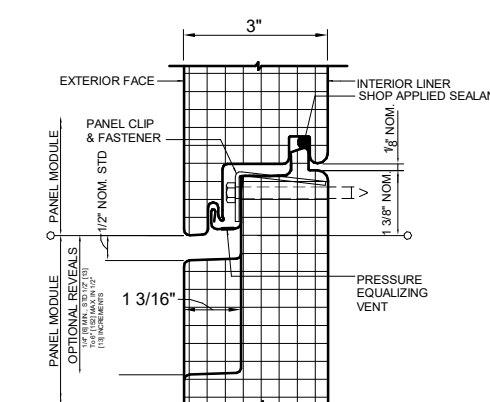
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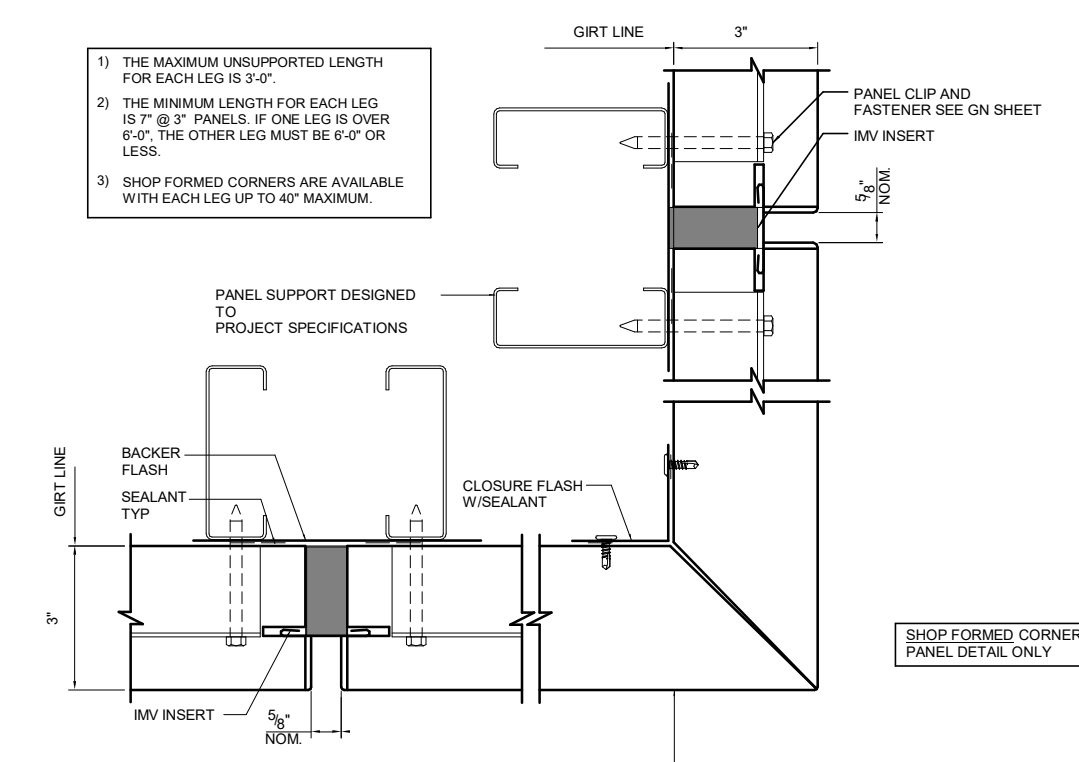
3 SOUTH ELEVATION METAL PANEL DETAIL
SCALE: 1/4" = 1'-0"



4 METAL PANEL VERT. REVEAL DTL.
SCALE: 3" = 1'-0"

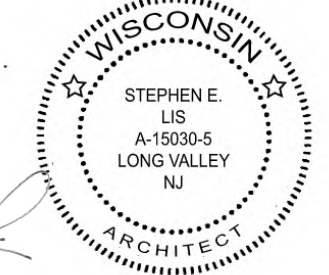


5 METAL PANEL HORIZ. REVEAL DTL
SCALE: 3" = 1'-0"



6 METAL PANEL CORNER DTL
SCALE: 3" = 1'-0"

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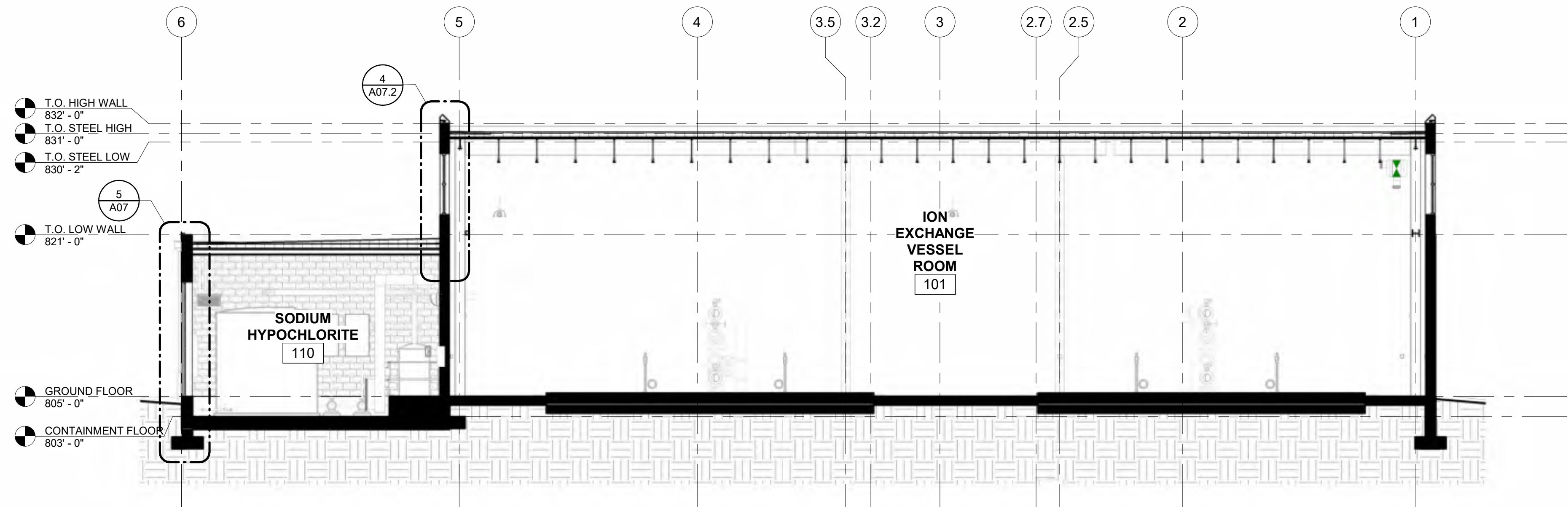


CITY OF EAU CLAIRE
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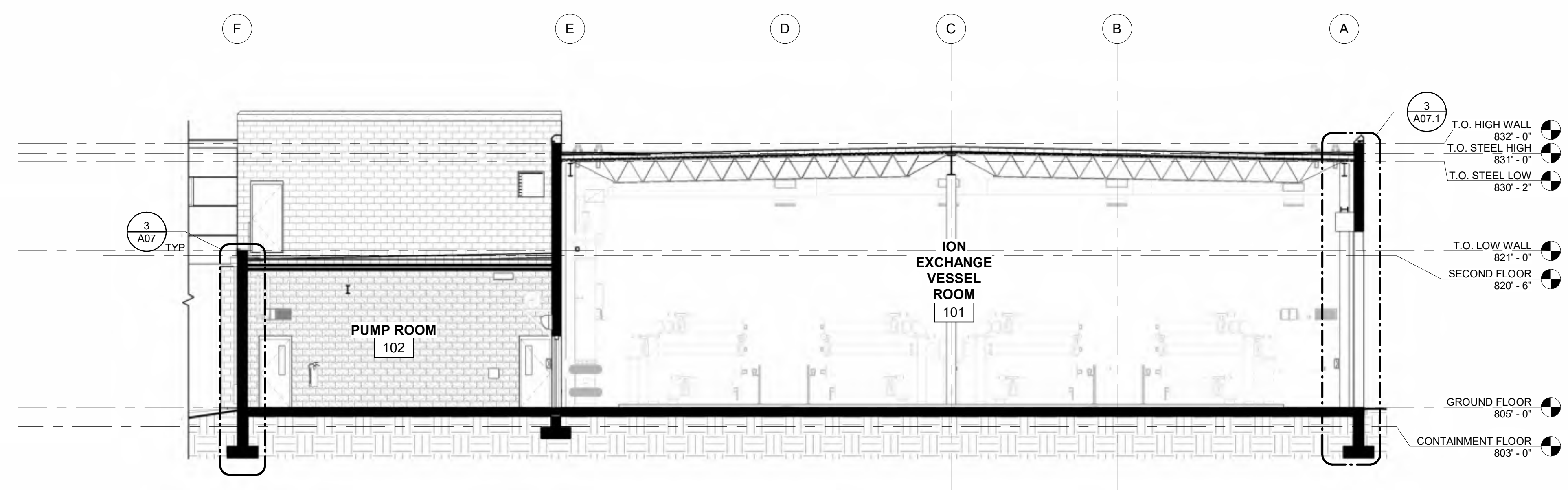
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EXTERIOR METAL PANELING
DETAILING 2

JOB No.	SHEET No.
074217	A05.3
DATE:	
MARCH 2024	

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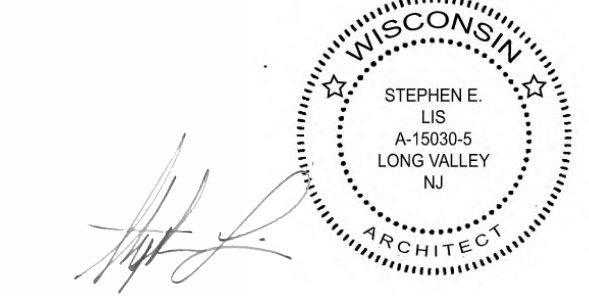
1 EAST/WEST SECTION 2
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2 NORTH/SOUTH SECTION 1 @ HIGH ROOF
SCALE: 1/8" = 1'-0"

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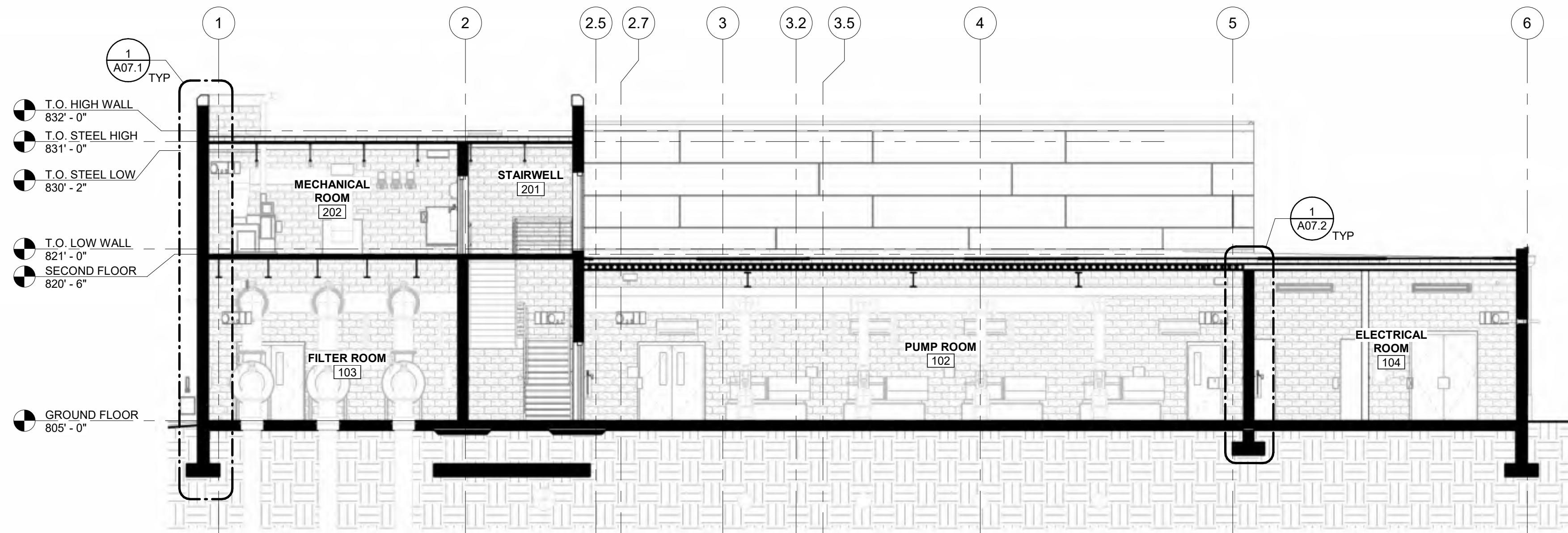
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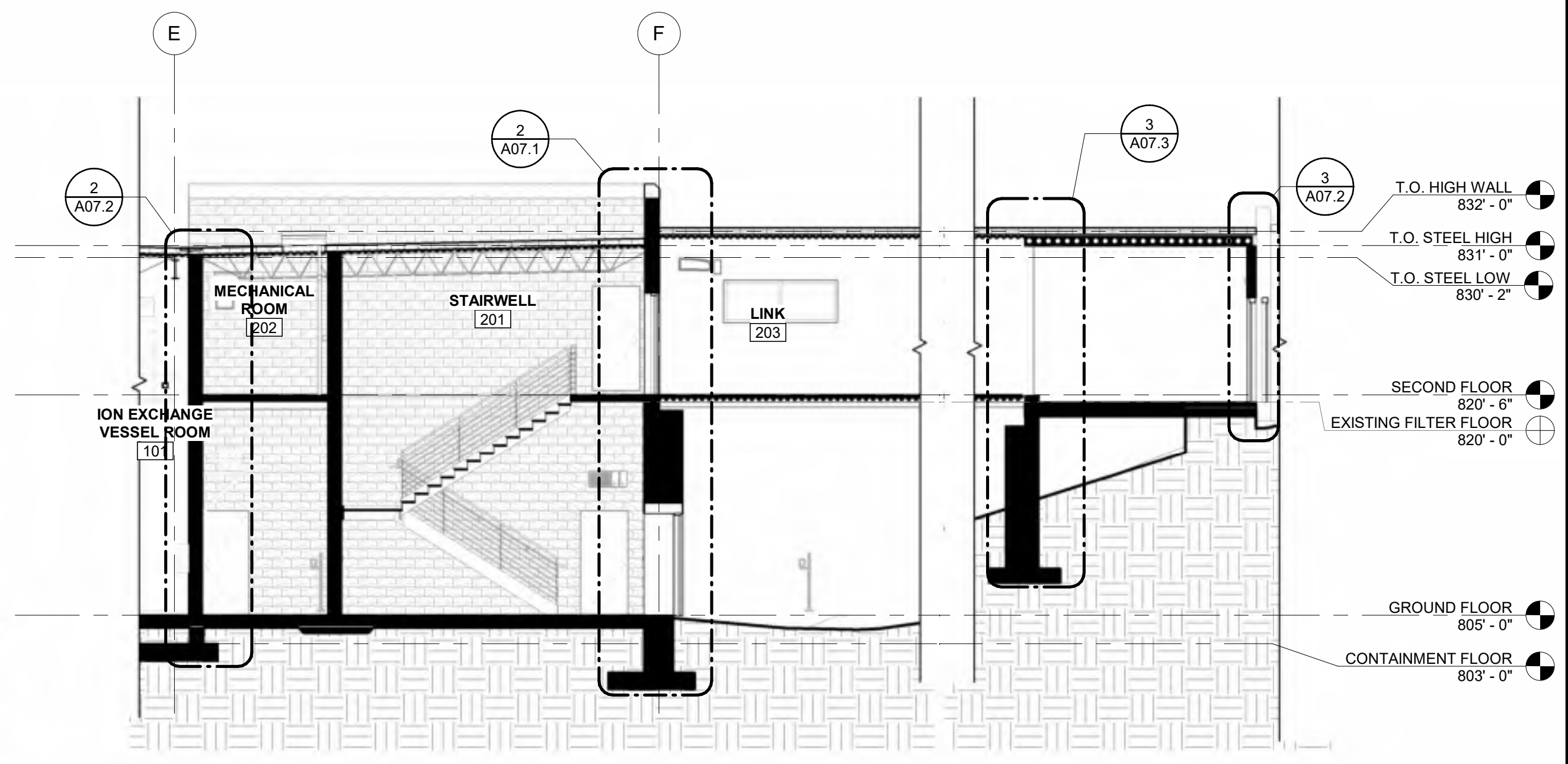

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 EAST BRUNSWICK, NEW JERSEY

CITY OF EAU CLAIRE
 EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY

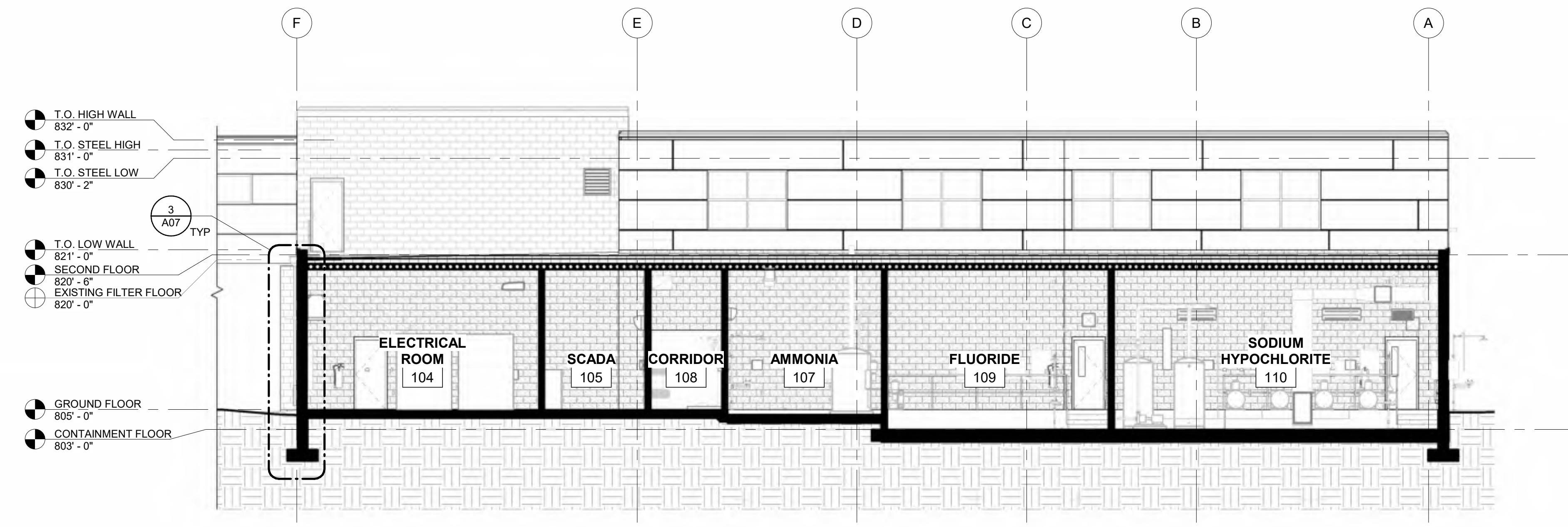
BID DOCUMENTS		JOB No. 074217	SHEET No. A06
ARCHITECTURAL BUILDING SECTIONS 1		DATE: MARCH 2024	



1 EAST/ WEST SECTION @ SECOND FLOOR
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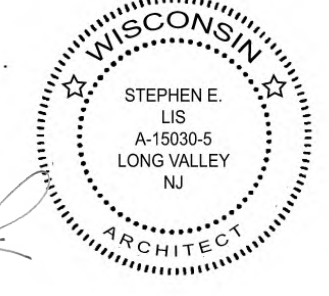


3 SECTION @ STAIRWELL AND LINK
SCALE: 1/8" = 1'-0"



2 NORTH/ SOUTH SECTION 2 @ LOW ROOF
SCALE: 1/8" = 1'-0"

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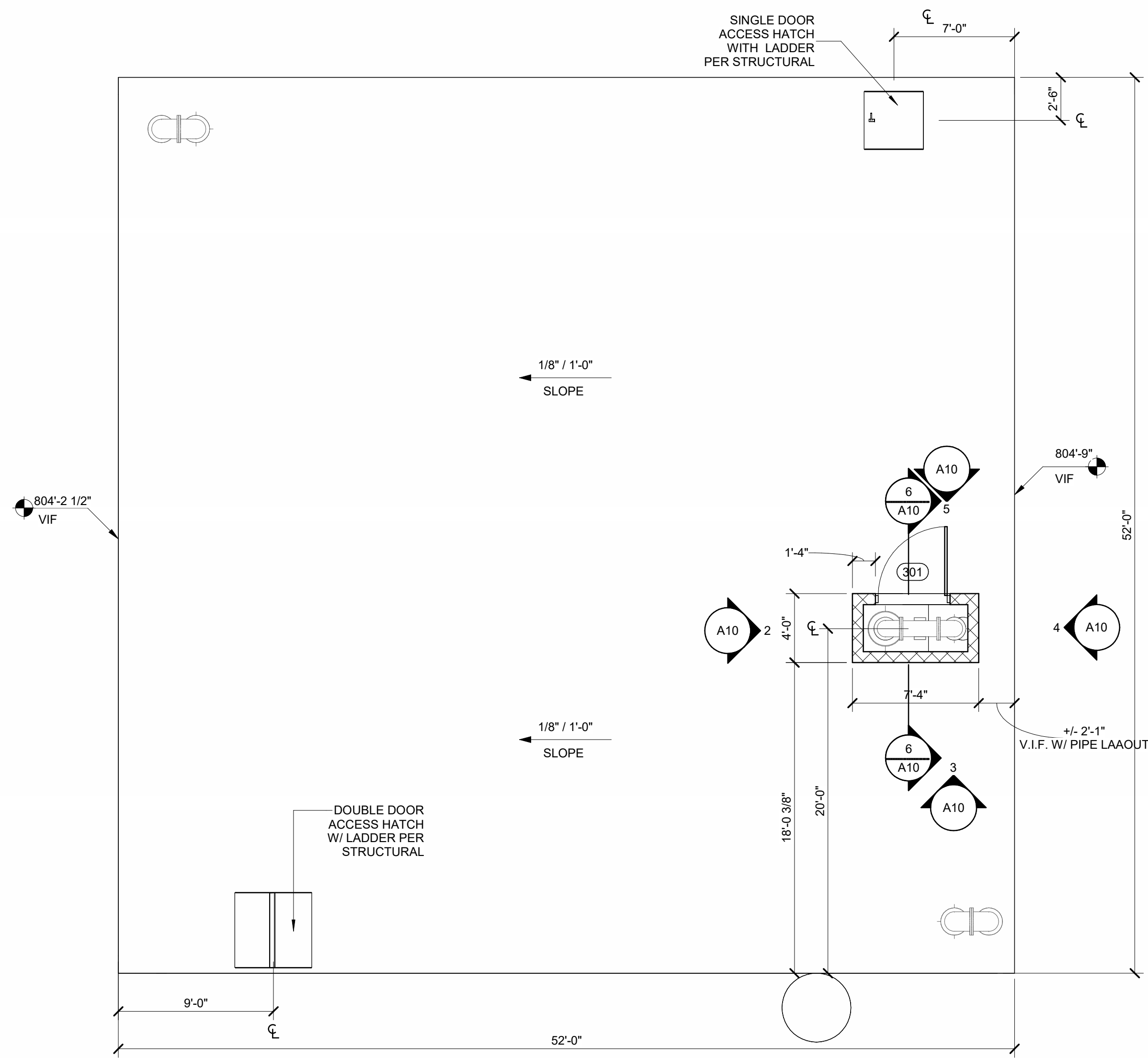


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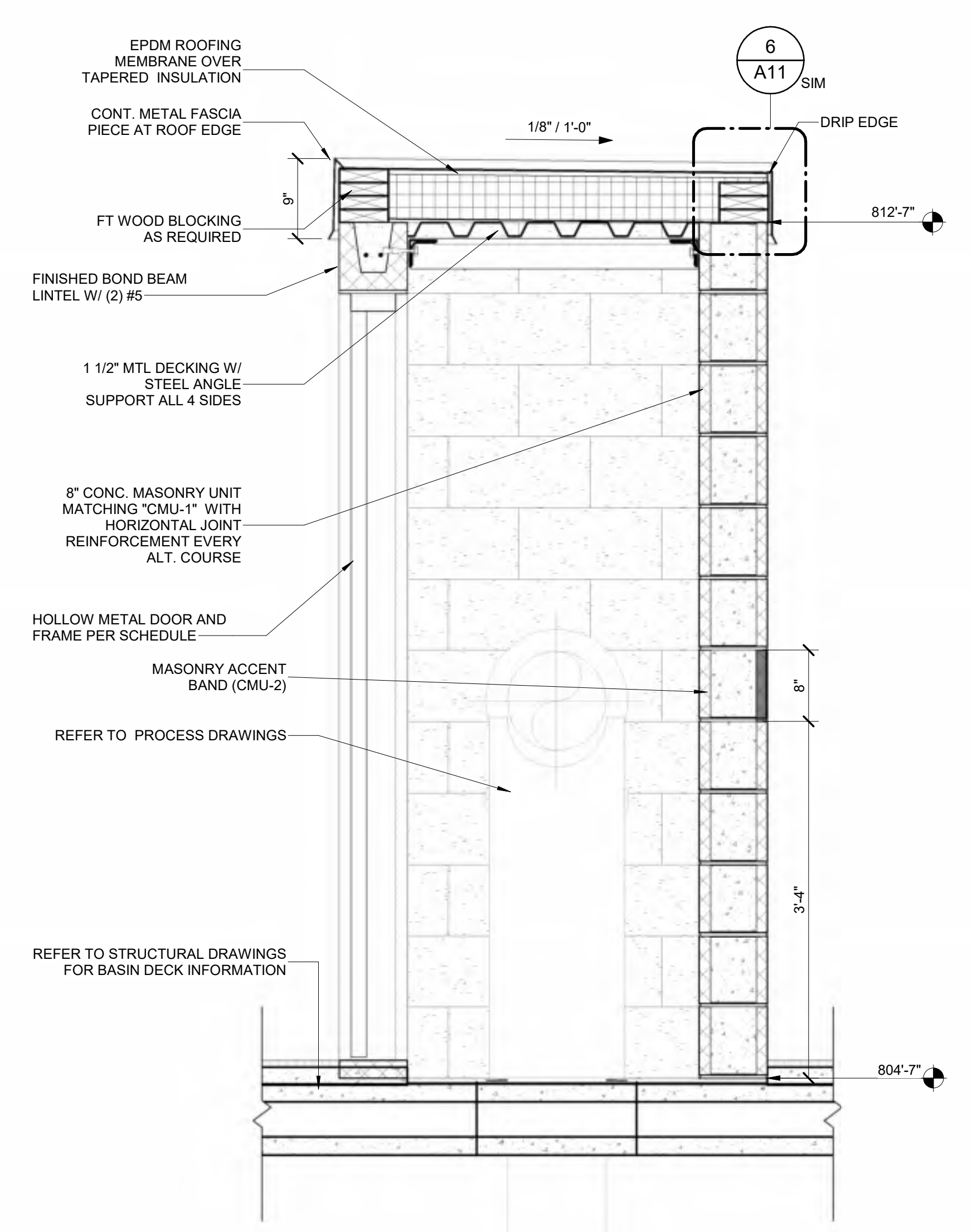
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ARCHITECTURAL
BUILDING SECTIONS 2

JOB No.	SHEET No.
074217	A06.1
DATE:	
MARCH 2024	

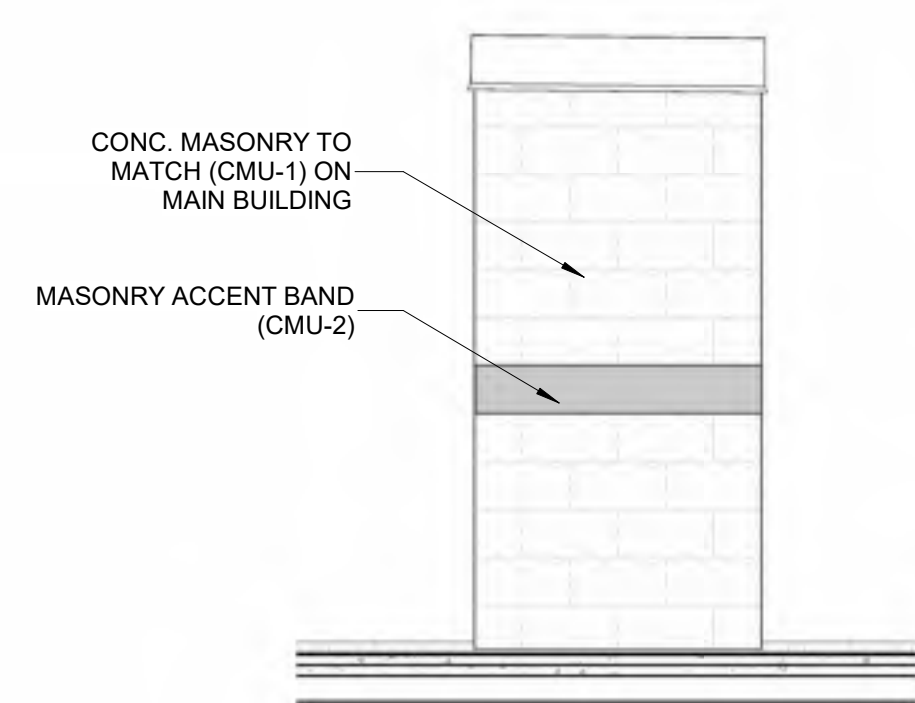
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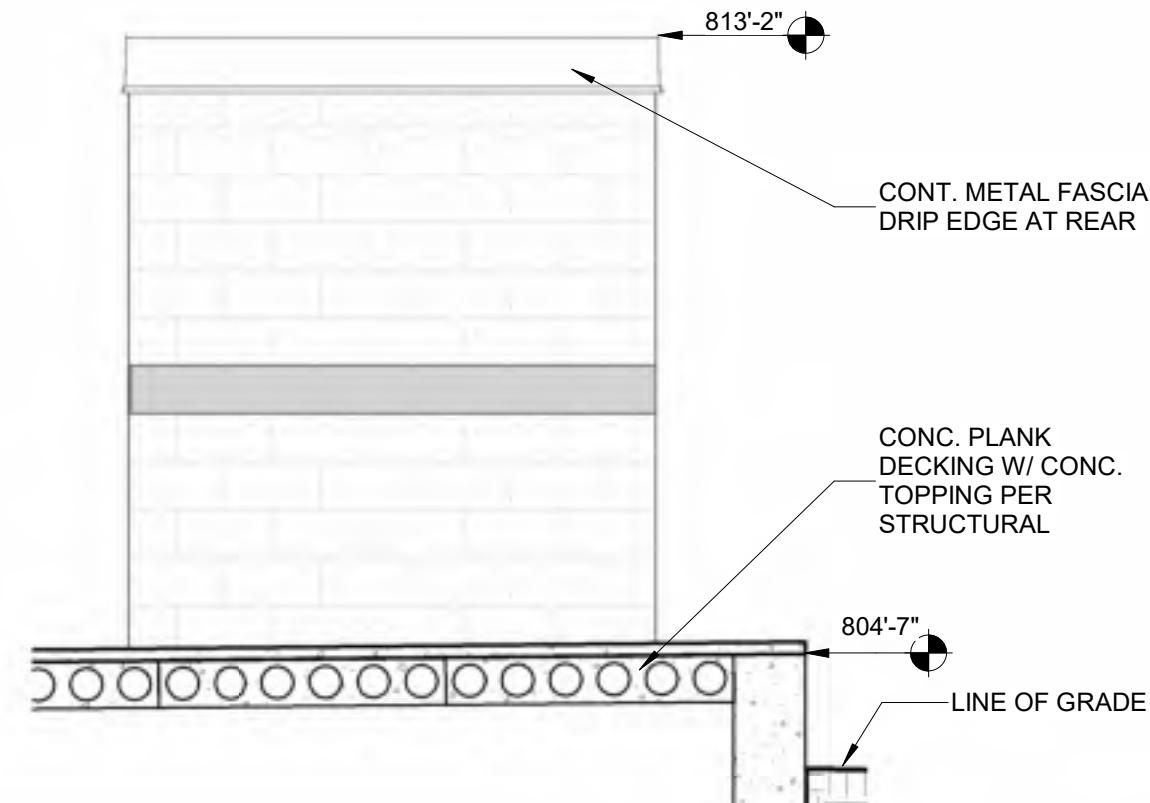
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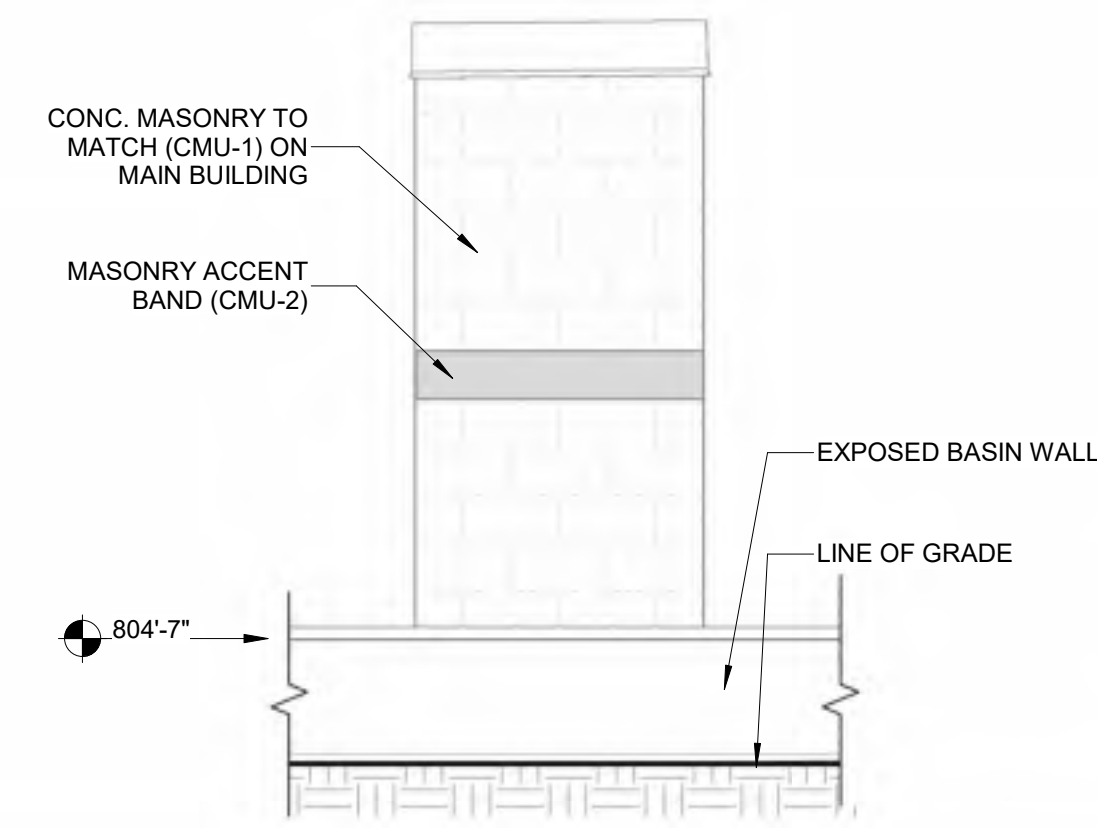
6 SECTION- EQUALIZATION BASIN PIPING ENCLOSURE
SCALE: 1" = 1'-0"



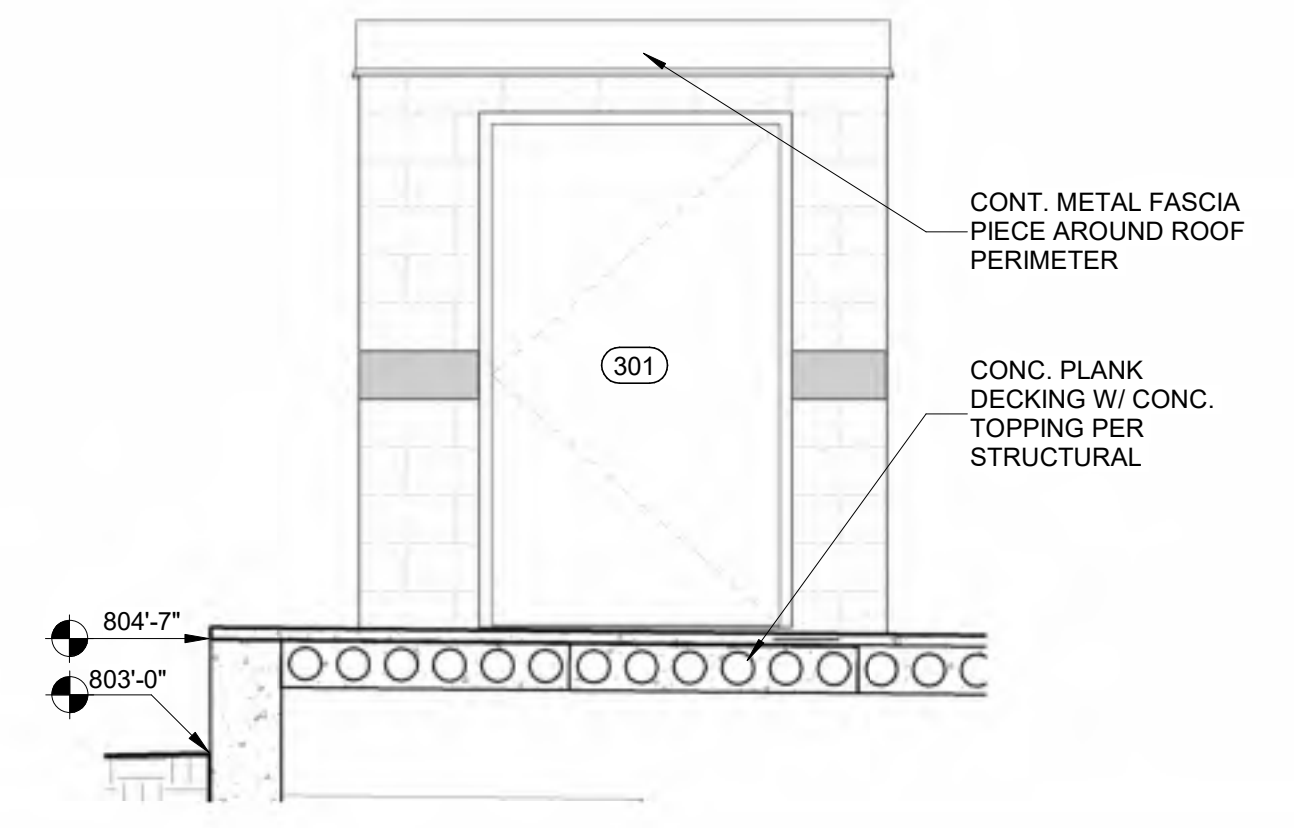
2 WEST ELEVATION
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3 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



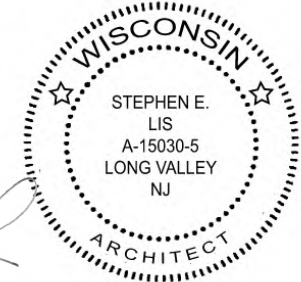
4 EAST ELEVATION
SCALE: 3/8" = 1'-0"



5 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

BID DOCUMENTS

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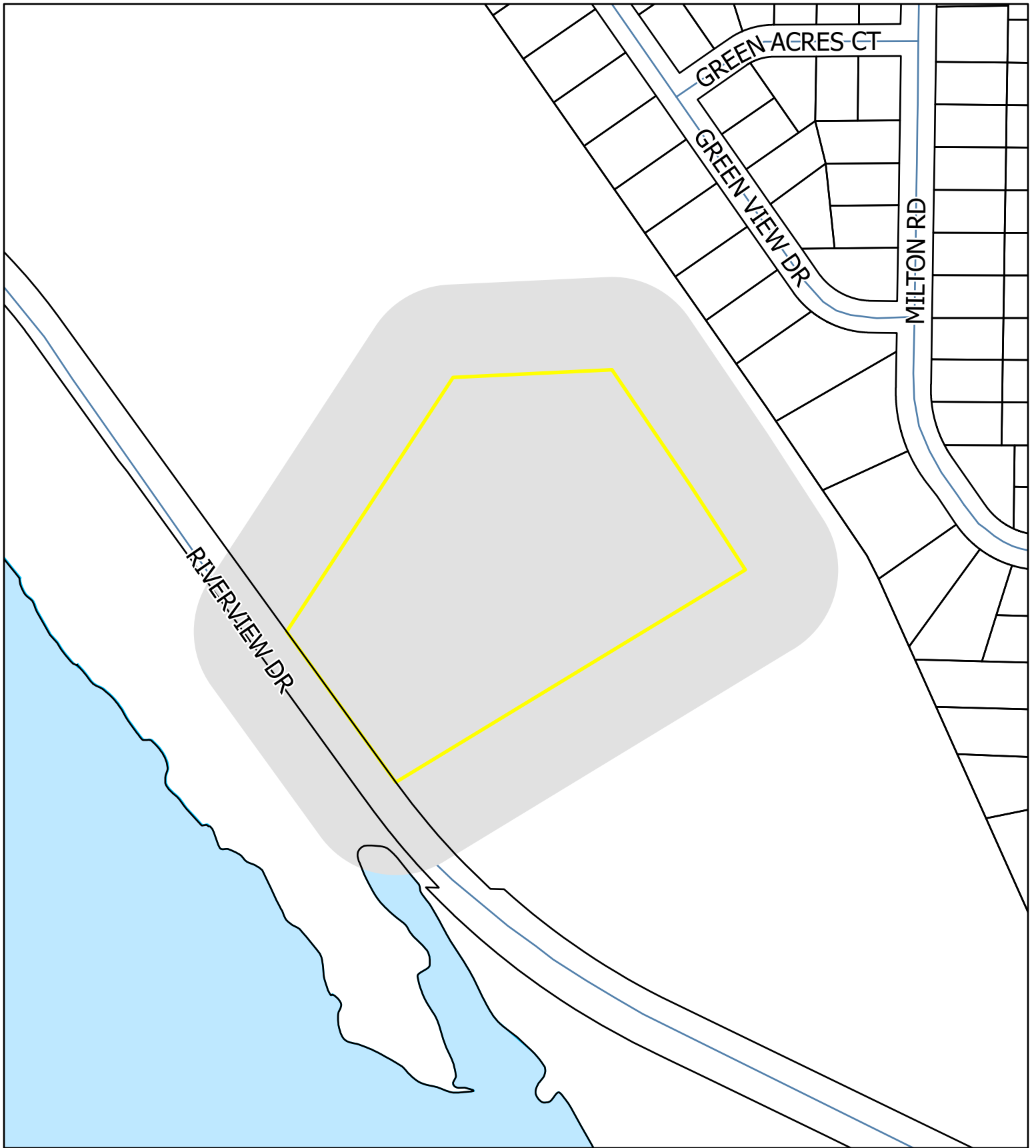
EAST BRUNSWICK, NEW JERSEY

CITY OF EAU CLAIRE
EAU CLAIRE, WISCONSIN
PFAS TREATMENT FACILITY



ARCHITECTURAL
EQUALIZATION BASIN PLAN & PIPING
ENCLOSURE DETAILS

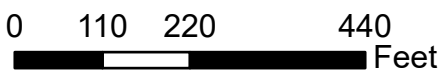
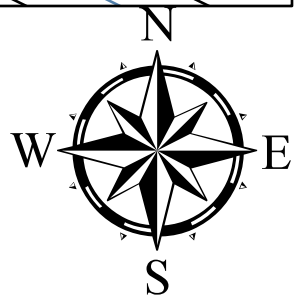
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074217
DATE:
MARCH 2024

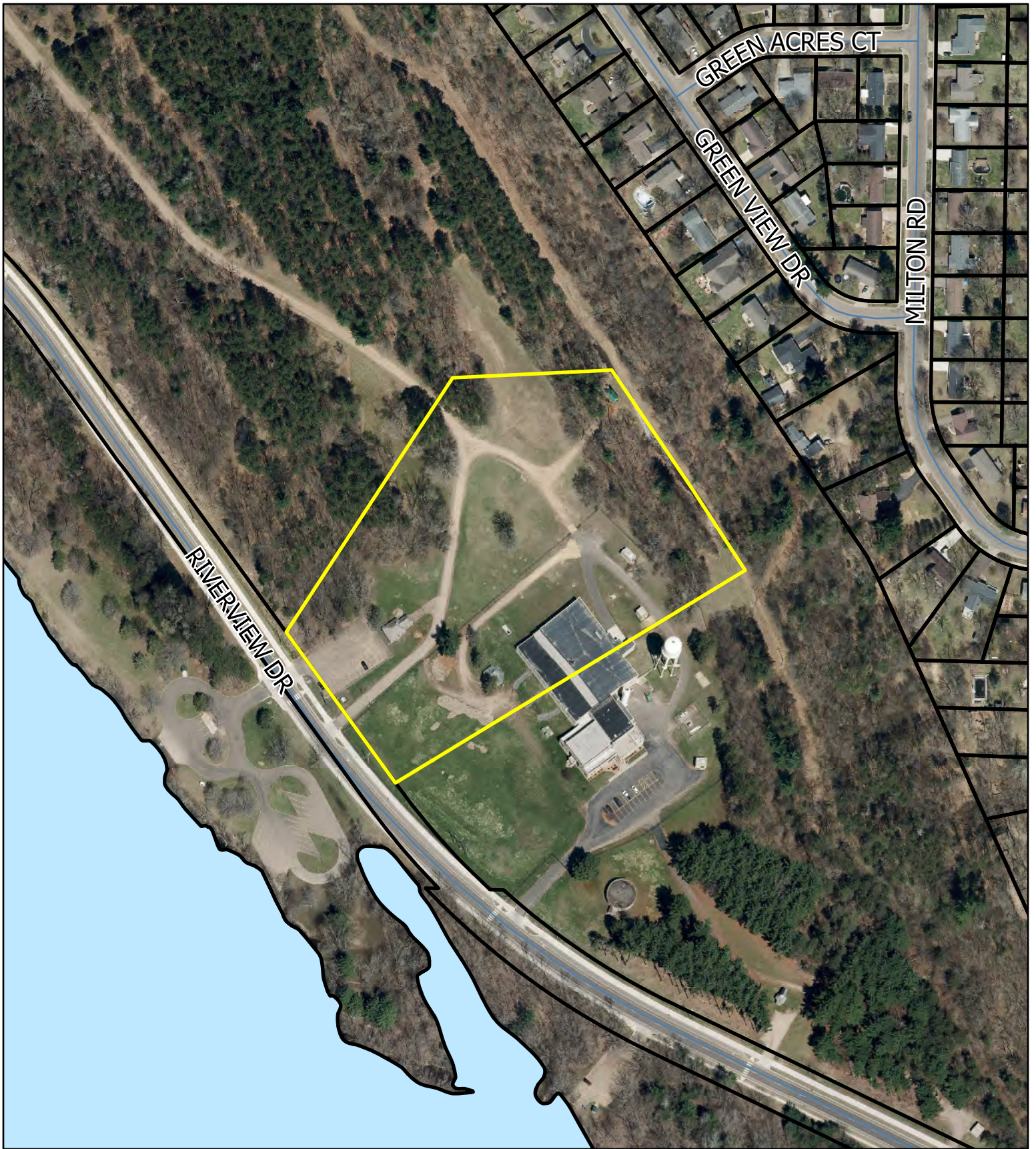
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A10




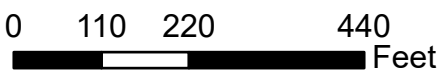
Notification Map
 Agenda Item: PZ-2401
 Address: 2711 Riverview Drive

-  Site Area
-  Notification Area





Aerial Map
Agenda Item: PZ-2401
Address: 2711 Riverview Drive
 Site Area



PUBLIC DISCUSSION

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public discussion on an ordinance amending Table IX entitled “Parking During Specified Hours” of the Code of Ordinances of the City of Eau Claire.

SUMMARY / BACKGROUND
<p>This proposed addition to parking restrictions in Table IX of the Code of Ordinances reflects the bus drop-off/pick-up area along Galloway Street in front of the main entrance doors of the Children’s Museum. This was approved by the Plan Commission in March 2021 as part of the site plan.</p> <p>The Children’s Museum, which is located on Galloway Street west of North Barstow Street, currently has temporary bus drop-off/pick-up signs installed. Approval of this change would allow for permanent signage installation and enforcement of parking restrictions.</p>

ACTION / ATTACHMENTS
<p>Action: Public Discussion</p> <p>Attachments: Ordinance</p>

ORDINANCE

ORDINANCE AMENDING TABLE IX ENTITLED “PARKING DURING SPECIFIED HOURS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Table IX entitled “Parking During Specified Hours” is hereby amended as follows:*

Parking Prohibited – Passenger loading zone. When signs or parking meters are erected in any block giving notice thereof, no person shall park a vehicle upon the following streets or portions of streets, except temporarily for the purpose of loading or unloading passengers:

- Agnes Street, west side, from Sherwin Avenue to a point 100 feet south of Sherwin Avenue;
- Cleveland Street, the north side, from 250 feet east of Fisher Street to 450 feet east of Fisher Street;
- Eau Claire Street, south side, from 100 feet west of South Barstow Street to 75 feet west of South Barstow Street;
- Galloway Street, south side, from Barstow Street to a point 140 feet west of Barstow Street;
- Graham Avenue, west side from Eau Claire Street to Gibson Street;
- Goff Avenue, the south side, from Agnes Street to a point 100 feet east of Agnes Street;
- Highland Avenue, the north side, from Agnes Street to a point 88 feet west of Agness Street;
- Highland Avenue, the north side, from a point 225 feet west of Agnes Street to a point 288 feet west of Agnes Street;
- Putnam Street, the east side, from Wisconsin Street to 90 feet south of Wisconsin Street.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, August 12, 2024

Agenda Item: Public discussion on an ordinance amending Chapter 10.20 entitled “Parking Meters and Lots” of the Code of Ordinances of the City of Eau Claire.

SUMMARY / BACKGROUND						
<p>This ordinance update changes the Menomonie Street Lot (owned by the City of Eau Claire) from a free lot to a metered and pay-by-the-hour lot; this parking lot is located at 1280 Menomonie Street (adjacent to the Tennis Center). The Menomonie Street Lot had improvements made in the past with the intention of charging in the future for event parking upon the opening of the Sonnentag Center. It is proposed to have the southern portion of the lot that abuts Menomonie Street and is closest to event centers be charged at \$1.00 per hour; there would be 14 free parking stalls with a two-hour limit located on the north side of the lot near the trailhead for the Half Moon Lake Trail.</p> <p>Below is the proposed amended fee and license table.</p>						
Chap.	Line	License/Fee	Ordinance/ Statutory Authority	Last Fee Change	2024 Adopted Fee	2024 Proposed Amended Fee
10	10.033	Menomonie Street Lot - 6 am to 2am Except Holidays - Per Hour.	10.20.80E	2019	No Fee	\$1.00 (per hour)

ACTION / ATTACHMENTS	
Action:	Public Discussion
Attachments:	Ordinance Map

ORDINANCE

ORDINANCE AMENDING CHAPTER 10.20 ENTITLED “PARKING METERS AND LOTS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Section 10.20.080 entitled “Meters- -Parking lots, ramps and streets” is hereby amended as follows:*

10.20.080 Meters- -Parking lots, ramps and streets.

E. The parking charges and periods for the Barstow Street Lot, Farwell Street Lot, Menomonie Street Lot, Seaver Street Lot, Water Street Lot, Riverside Parking Deck, and all other on-street meters shall be as stated in the City of Eau Claire Fees and Licenses Schedule.

SECTION 2. *Section 10.20.100 entitled “Unmetered parking lots and parking ramps” is hereby amended as follows:*

10.20.100 Unmetered parking lots and parking ramps. The following unmetered parking lots and parking ramps are established with parking hours, rates and times as stated in the City of Eau Claire Fees and Licenses Schedule: Chippewa Street Lot, Forest Street Lot, ~~Menomonie Street Lot~~, Municipal Parking Ramp, Riverside Parking Deck, Riverview Parking Lot, Schlegelmilch-McDaniel Lot, Seaver Street Lot, Starr Avenue/Birch Street Lot, Transfer Center Parking Ramp, and L.E. Phillips Memorial Public Library.

SECTION 3. *That the Fees and Licenses Schedule shall be amended to reflect parking fees for the Menomonie Street Lot of \$1.00 (per hour).*

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

